



AGENDA
Bentley Town Council
Tuesday August 27, 2024
6:30pm Regular Meeting of Council

1. Call To Order

2. Indigenous Acknowledgement

“We acknowledge that we are meeting on Treaty 6 Territory and Home of Metis Nation Region 3, on land that is part of a historic agreement involving mutuality and respect. We recognize all the many First Nations, Metis, Inuit, and non-First Nations whose footsteps have marked these lands.”

3. Amendments & Acceptance of Agenda

4. Adoption of Previous Minutes:

- a) Regular Meeting of Council July 9, 2024**

5. Financial:

- a) Prepaid Cheque Listing – Cheques No. 20240501 to 20240653**

6. New Business

- a) Sunset Heights Area Structure Plan Draft**
- b) Bentley Sports Field Conceptual Design**

7. Correspondence

- a) Lacombe County Council Highlights July 11, 2024**
- b) Good Neighbor Day Poster – Sept 25 3:30pm to 7:30pm**
- c) Hazardous Waste Roundup (LRWSC) – Bentley Transfer Site Oct 5, 2024
1:00pm to 4:45pm**

8. Other Business

- a) **Annexation Update (verbal CAO)**

9. Council Reports

- a) **Greg Rathjen**
- b) **Deputy Mayor Hansen**
- c) **Councillor Grimsdale**
- d) **Councillor Eastman**
- e) **Councillor Valiquette**

10. Adjournment



**Minutes of the Regular of the Council of the Town of Bentley
July 9, 2024**

Date and Place Minutes of the Regular Meeting of the Council of the Town of Bentley held Tuesday, July 9, 2024, at 6:30 p.m., in the Bentley Municipal Office

In Attendance Mayor Greg Rathjen
Deputy Mayor Hansen
Councillor Valiquette
Councillor Eastman
Councillor Grimsdale
CAO, Marc Fortais

Call to Order Mayor Rathjen called the regular council meeting to order at 6:30pm

Indigenous Acknowledgement “We acknowledge that we are meeting on Treaty 6 Territory and Home of Metis Nation Region 3, on land that is part of a historic agreement involving mutuality and respect. We recognize all the many First Nations, Metis, Inuit, and non-First Nations whose footsteps have marked these lands.”

Read by Mayor Rathjen

Agenda

Motion 151/2024 Moved by Councillor Valiquette, “THAT the agenda of the June 25, 2024, regular be accepted.”

Carried

Previous Minutes

Motion 152/2024 Moved by Councillor Grimsdale, “THAT the minutes of the June 25, 2024. Regular Meeting of Council be accepted.”

Carried

Financial

a) Prepaid Cheque Listing – Cheques No. 20240477 to 20240500

Note: it was noted that the agenda had printed Prepaid Cheque Listing – Cheques 20240477 to 20240499 however it should have included 20240500. This has been amended and was considered by Mayor and Council in their motion below.

Motion 153/2024 Moved by Deputy Mayor Hansen, "THAT Cheques No. 20240477 to 20240500 be received for information."

Carried

New Business

a) Bentley Strategic Plan 2024 to 2028

Motion 154/2024 Moved by Deputy Mayor Hansen, "THAT Mayor and Council approve the Town of Bentley Community Strategic Plan (2024 to 2028); AND

THAT Administration be directed to utilize the plan as a foundational document for future budgetary planning related to the 2025 budget year and any additional budget years, until such a time as a new strategic plan has been created."

Carried

Correspondence

- a) Lacombe County Council Highlights June 27, 2024**
- b) Lacombe Foundation Annual Report**
- c) Lacombe Regional Waste Services March 6, 2024**

Motion 155/2024 Moved by Councillor Eastman, "THAT correspondence item a to c be accepted as information."

Carried

Other Business

a) Bentley Mural

This item was added as a general discussion item from Deputy Mayor Hansen.

CAO provided an update that the artist that had been scheduled to paint the mural, has withdrawn their services due to a change in direction for the artist.

Council suggested that the CAO should seek out some additional artists to receive quotes to ensure value for money for the community. The risk is that it may not be painted this year as we are running out of time for good weather and artists are getting booked if they are not already booked now.

Motion 156/2024 Moved by Deputy Mayor Hansen, "THAT the CAO be directed to seek out quotes from local muralists such as John Ellenberger or Tim Giles, that did the murals in Lacombe."

Carried

Council Reports

- a) Mayor Rathjen
- b) Deputy Mayor Hansen
- c) Councillor Grimsdale
- d) Councillor Eastman
- e) Councillor Valiquette

Motion 157/2024 Moved by Councillor Grimsdale, "THAT the June Council Reports be accepted as information."

Adjournment

Mayor Rathjen adjourned the July 9, 2024, Regular Council Meeting at 7:30pm

Mayor Greg Rathjen

CAO Marc Fortais



TOWN OF BENTLEY

Cheque Listing For Council

Cheque		Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
Cheque #	Date					
20240501	2024-07-15	RATHJEN, ARTHUR M				
20240502	2024-07-15	VALIQUETTE, BRENDA C				
20240503	2024-07-15	HANSEN, PAMELA				
20240504	2024-07-15	GRIMSDALE, DALE A				
20240505	2024-07-15	EASTMAN, LENORE M				
20240506	2024-07-09	BENTLEY ESSO	30062024	PAYMENT VEHICLE/EQUIPMENT GAS/DIES	1,764.42	1,764.42
20240507	2024-07-09	BLUE GRASS NURSERY & GARDEN CENTE	G150834 G150897 G150988 G151029	PAYMENT WATER REPAIR - SOD TOWN PARK - SOD SOD EMPLOYEE PURCHASE & F DEPOSIT REFUNDED PALLET-SC	318.15 318.15 554.40 (252.00)	938.70
20240508	2024-07-09	CANOE PROCUREMENT GROUP OF CANADA, D	AB219803	PAYMENT TIRE REPAIR FOR MOWER	61.68	61.68
20240509	2024-07-09	ECO TREE LTD	10947 10949	PAYMENT REMOVAL BROKEN SPRUCE TRI REMOVAL SPRUCE TREES	1,102.50 2,730.00	3,832.50
20240510	2024-07-09	GREAVES, LORYANNE	01072024	PAYMENT STAFF APPRECIATION LUNCH D	43.99	43.99
20240511	2024-07-09	GREGG DISTRIBUTORS LP	059-654375	PAYMENT WATER- STEP ANCHORS INJECT	11.61	11.61
20240512	2024-07-09	HOME HARDWARE BUILDING CENTRE	AC2967	PAYMENT ARENA MAINTENANCE SUPPLIE	29.99	29.99
20240513	2024-07-09	LACOMBE COUNTY	IVC000045151	PAYMENT MAY 2024 FIRE TRAINING	1,361.67	1,361.67
20240514	2024-07-09	MAGNUM HYDROVAC	1126 1127	PAYMENT TRENCH LINE FOR FUTURE POV CLEAR OUT AROUND CURB STC	1,008.00 1,008.00	2,016.00
20240515	2024-07-09	PARKLAND REGIONAL LIBRARY	240023	PAYMENT 3RD QUARTER REQUISITION PA	2,498.92	2,498.92
20240516	2024-07-09	RATHJEN, GREG	30062024	PAYMENT JUNE REIMBURSEMENT MILEAC	153.40	153.40
20240517	2024-07-09	RECEIVER GENERAL	30062024 30JUN2024	PAYMENT REDUCED EMPLOYMENT INSUR REGULAR EMPLOYMENT INSUR	20,623.27 1,941.44	22,564.71
20240518	2024-07-09	SHAW CABLE	06212024 12062024	PAYMENT FCSS INTERNET 21-JUL-24 TO 21 OFFICE INTERNET 12-JUL-24 TO	173.25 173.25	346.50
20240519	2024-07-09	CHAMBER SUPPLY CO.	4728	PAYMENT ARENA - LORELL STACKING CHA	2,707.53	2,707.53
20240520	2024-07-09	LIMITLESS AUTOMATICS & DOORS	10257	PAYMENT LIBRARY FRONT DOOR	5,331.38	5,331.38
20240521	2024-07-11	MACHULSKI; SHANNAN JANE	202407111	PAYMENT CREDIT BALANCE PAID	314.06	314.06
20240522	2024-07-15	CARSON, BARBARA J				
20240523	2024-07-15	JENSEN, DARREN J				
20240524	2024-07-15	MEREDITH, SANDRA L				
20240525	2024-07-15	GIBSON, COLE C				
20240526	2024-07-15	DENNEHY, NATHAN				



TOWN OF BENTLEY

Cheque Listing For Council

2024-Aug-23
8:26:41AM

Cheque		Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
Cheque #	Date					
20240527	2024-07-15	GREAVES, LORYANNE				
20240528	2024-07-15	FORTAIS, MARC C				
20240529	2024-07-15	KIKSTRA, ROBERT B				
20240530	2024-07-15	LOOV, CHRISTOPHER D				
20240531	2024-07-15	SMITH, JOCELYNN T				
20240532	2024-07-15	VON KUSTER, KESALY K				
20240533	2024-07-12	1704567 ALBERTA LTD.	989	PAYMENT CURLING RINK & ARENA BAIT TF	132.30	132.30
20240534	2024-07-12	327241 ALBERTA LTD.	1330	PAYMENT ANIMAL CONTROL SERVICES FC	1,207.50	1,207.50
20240535	2024-07-12	ACCESS GAS SERVICES	202406-AB1878	PAYMENT NATURAL GAS BILL FOR JUNE	803.37	803.37
20240536	2024-07-12	BLACK PRESS GROUP LTD.	BPI167616	PAYMENT RIMBEY REVIEW - STRATEGIC P	635.98	635.98
20240537	2024-07-12	CHAPMAN RIEBEEK LLP	2407013	PAYMENT GENERAL MATTERS	415.01	415.01
20240538	2024-07-12	DMD ROCK PRODUCTS LTD.	10424	PAYMENT ARENA ICE PLANT GRAVEL IN AL	580.75	580.75
20240539	2024-07-12	EMPRINGHAM DISPOSAL CORP.	66339	PAYMENT RECYCLING FOR JUNE	2,639.18	2,639.18
20240540	2024-07-12	G.L.D.C. GAS CO-OP LTD.	700253	PAYMENT BENTLEY FIRE HALL JUNE NATU	76.22	76.22
20240541	2024-07-12	GO SERVICES INC.	15173575	PAYMENT PORTAPOTTIES	693.00	693.00
20240542	2024-07-12	GREGG DISTRIBUTORS LP	059-659481	PAYMENT PARKS & REC GENERAL SUPPLI	281.42	281.42
20240543	2024-07-12	HHID	069508	PAYMENT DIRECTOR EMERGENCY MANAC	787.50	787.50
20240544	2024-07-12	INNOV8, DIGITAL SOLUTIONS INC.	IN498969 IN499807	PAYMENT FCSS PHOTOCOPIER NEIGHBOURHOOD NOTES & OFI	14.64 1,056.00	1,070.64
20240545	2024-07-12	KEY AGVENTURES INC.	IR83922 IR83926 WR14952	PAYMENT PARKS & REC MOWER DECK & T PARKS & REC TRIMMER REPLAC PARKS & REC MOWER REPAIRS	20.98 612.91 177.26	811.15
20240546	2024-07-12	LACOMBE COUNTY	IVC00045159	PAYMENT INDUSTRIAL ROAD RE-GRAVELE	5,758.45	5,758.45
20240547	2024-07-12	MAGNUM FIREWORKS LTD.	6186	PAYMENT DEPOSIT FOR FIREWORKS BEN	5,775.00	5,775.00
20240548	2024-07-12	PARKLAND GEOTECHNICAL CONSULTING LTD.	2406-3501	PAYMENT PROGRESS BILLING-ARENA ICE	3,465.00	3,465.00
20240549	2024-07-12	PITNEY BOWES LEASING	3202397513	PAYMENT POSTAGE METER	242.24	242.24
20240550	2024-07-12	PITNEYWORKS	03072024	PAYMENT POSTAGE	540.00	540.00
20240551	2024-07-12	RIMBEY EXPRESS	3569	PAYMENT WATER SAMPLES & RETURNS	110.00	110.00
20240552	2024-07-12	STANTEC CONSULTING LTD.	1904484	PAYMENT BENTLEY GIS MAPBOOK UPDAT	9,098.08	9,098.08



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Cheque #	Cheque Date	Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
20240553	2024-07-12	TELUS COMMUNICATIONS INC.		PAYMENT		371.73
			04072024	TELUS BILL FOR JULY	253.11	
			04072024.	INTERAC LINE	38.29	
			04072024..	ARENA WIFI	80.33	
20240554	2024-07-12	TELUS MOBILITY INC.		PAYMENT		125.22
			09072024	PW CELL PHONES FIRE DEPT RI	125.22	
20240555	2024-07-12	THE DROP COFFEE & TEA		PAYMENT		131.25
			724	ENGAGEMENT AT MEDICINE LOI	131.25	
20240556	2024-07-12	WASTE CONNECTIONS OF CANADA INC.		PAYMENT		1,285.46
			7425-000026439	COMMERCIAL WASTE PICKUP	1,285.46	
20240557	2024-07-12	WILD ROSE ASSESSMENT SERVICES		PAYMENT		1,330.88
			9438	PROGRESS PAYMENT FOR JULY	1,330.88	
20240558	2024-07-12	LEPAGE PLANT HEALTHCARE/WILDROSE TREE		PAYMENT		4,578.00
			7344	TREEAZIN SYSTEMC INSECTICII	4,578.00	
20240559	2024-07-15	PIKE, JAKE J				
20240560	2024-07-15	LISNEAC, ARTUR				
20240561	2024-07-18	ADT SECURITY SERVICES CANADA INC.		PAYMENT		409.50
			34198827	MUNICIPAL OFFICE SECURITY M	378.00	
			34199402	PUMPHOUSE SECURITY MONIT	31.50	
20240562	2024-07-18	BUNZL CLEANING & HYGIENE		PAYMENT		389.72
			140051	ARENA & CAMPGROUND JANITC	531.47	
			140852	REIMBURSEMENT CLOREX JUG	(141.75)	
20240563	2024-07-18	SERVUS CREDIT UNION		PAYMENT		961.02
			30062024	SERVUS MASTERCARD PAYMEN	961.02	
20240564	2024-07-18	WORKERS' COMPENSATION BOARD		PAYMENT		3,296.53
			27357778	INSTALLMENT PAYMENT	3,296.53	
20240565	2024-07-19	SHAW CABLE		PAYMENT		105.00
			JULY24,2024	PW INTERNET 23-JUL-24 TO 22-	105.00	
20240566	2024-07-19	WOLF'S BOTANICAL		PAYMENT		8,072.61
			80016484	ANNUAL FLOWER ORDER	8,072.61	
20240567	2024-07-19	TRANSALTA ENERGY MARKETING		PAYMENT		13,276.44
			24-1361429	STREET LIGHTING FOR JUNE	6,680.06	
			24-1361450	ELECTRICITY BILL FOR JUNE	6,596.38	
20240568	2024-07-19	UNFUSSY INC.		PAYMENT		959.17
			1007-243	DESIGN & PRODUCTION,WEBSI	959.17	
20240569	2024-07-23	GOVERNMENT OF ALBERTA		PAYMENT		350.00
			JUNE142024	ANNEXATION PROPOSAL APPLIK	350.00	
20240570	2024-07-30	CARSON, BARBARA J				
20240571	2024-07-30	JENSEN, DARREN J				
20240572	2024-07-30	MEREDITH, SANDRA L				
20240573	2024-07-30	GIBSON, COLE C				
20240574	2024-07-30	DENNEHY, NATHAN				
20240575	2024-07-30	GREAVES, LORYANNE				
20240576	2024-07-30	FORTAIS, MARC C				
20240577	2024-07-30	KIKSTRA, ROBERT B				
20240578	2024-07-30	LOOV, CHRISTOPHER D				
20240579	2024-07-30	PIKE, JAKE J				
20240580	2024-07-30	SMITH, JOCELYNN T				



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Cheque Listing For Council

2024-Aug-23
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Cheque		Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
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20240581	2024-07-30	VON KUSTER, KESALY K				
20240582	2024-07-30	LISNEAC, ARTUR				
20240583	2024-07-31	HIGH PRESSURE FLUSHING INC.	2532	PAYMENT WASTEWATER - FLUSH SANI MA	8,872.50	8,872.50
20240584	2024-07-31	HOLDEN, KARI	11 31072024 JULY2024	PAYMENT BENTLEY FIREHALL JANITORIAL OFFICE JANITORIAL FOR JULY 2 SENIORS DROP JANITORIAL FOI	345.00 120.00 15.00	480.00
20240585	2024-07-31	JACKSON, BRIAN	31072024	PAYMENT CAMPGROUND ATTENDANT JUL	1,386.44	1,386.44
20240586	2024-07-31	KIKSTRA, ROB	12072024 JUL122024	PAYMENT GLOVER INT TRUCKS - EQUIPME GLOVER INT RED DEER PARTS -	24.44 24.44	48.88
20240587	2024-07-31	KTI LIMITED	INV157383	PAYMENT WATER TRAINING FEE	630.00	630.00
20240588	2024-07-31	LACOMBE COUNTY	IVC00045256	PAYMENT JUNE 2024 FIRE PAYROLL	2,379.84	2,379.84
20240589	2024-07-31	OLDS CONCRETE SERVICES (2014) LTD.	2920 2937	PAYMENT SUBWAY SIDEWALK REPLACEMI TRENCH DRAIN REPAIRS	48,793.50 3,150.00	51,943.50
20240590	2024-07-31	SHAW CABLE	12072024 23072024	PAYMENT OFFICE INTERNET 12-AUG-24 TC PW INTERNET 23-AUG-24 TO 22-	173.25 105.00	278.25
20240591	2024-07-31	TELUS MOBILITY INC.	11072024	PAYMENT FCSS CELL PHONE BILL	76.65	76.65
20240592	2024-07-31	MOORE'S BACKHOE SERVICE LTD.	1099	PAYMENT NEW BEGINNINGS/SUNSET HEIK	2,100.00	2,100.00
20240593	2024-07-31	OUTLAW ELECTRIC LTD.	10174 10178 10180 10181	PAYMENT LIBRARY - BUILDING MAINTENAI ARENA - BUILDING MAINTENANC WATER WELL #3 MAINTENANCE ARENA - BUILDING MAINTENANC	764.03 522.55 666.79 411.60	2,364.97
20240594	2024-07-31	PETTY CASH	31072024 JULY31, 2024	PAYMENT THE MARKET-BOTTLED WATER ! THE MARKET-COFFEE PODS FO	13.75 23.00	36.75
20240595	2024-07-31	RECEIVER GENERAL	31072024 JUL312024	PAYMENT REGULAR EMPLOYMENT INSUR REDUCED EMPLOYMENT INSUR	2,604.62 20,389.29	22,993.91
20240596	2024-08-15	CARSON, BARBARA J				
20240597	2024-08-15	JENSEN, DARREN J				
20240598	2024-08-15	MEREDITH, SANDRA L				
20240599	2024-08-15	GIBSON, COLE C				
20240600	2024-08-15	DENNEHY, NATHAN				
20240601	2024-08-15	GREAVES, LORYANNE				
20240602	2024-08-15	FORTAIS, MARC C				
20240603	2024-08-15	KIKSTRA, ROBERT B				
20240604	2024-08-15	LOOV, CHRISTOPHER D				
20240605	2024-08-15	SMITH, JOCELYNN T				
20240606	2024-08-15	VON KUSTER, KESALY K				



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2024-Aug-23
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Cheque #	Cheque Date	Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
20240607	2024-08-15	RATHJEN, ARTHUR M				
20240608	2024-08-15	VALIQUETTE, BRENDA C				
20240609	2024-08-15	HANSEN, PAMELA				
20240610	2024-08-15	GRIMSDALE, DALE A				
20240611	2024-08-15	EASTMAN, LENORE M				
20240612	2024-08-15	PIKE, JAKE J				
20240613	2024-08-15	LISNEAC, ARTUR				
20240615	2024-08-15	SCHNELL HARDY JONES LLP.	202408151	PAYMENT CREDIT BALANCE PAID	258.82	258.82
20240616	2024-08-16	TIMCO QUALITY BUILDERS LTD.	16082024	PAYMENT REBATE FOR FOUNDATION CON	6,900.00	6,900.00
20240617	2024-08-16	1704567 ALBERTA LTD.	1078	PAYMENT CURLING RINK & ARENA BAIT TF	132.30	132.30
20240618	2024-08-16	327241 ALBERTA LTD.	1339	PAYMENT ANIMAL CONTROL SERVICES FC	1,627.50	1,627.50
20240619	2024-08-16	ACCESS GAS SERVICES	202407-AB1878	PAYMENT NATURAL GAS BILL FOR JULY	720.43	720.43
20240620	2024-08-16	ADT SECURITY SERVICES CANADA INC.	34311452 34312266 34313925 34341942 34341947	PAYMENT LIBRARY SECURITY ANNUAL FEI PUMPHOUSE ANNUAL SECURIT PUBLIC WORKS ANNUAL SECUR ARENA SECURITY ANNUAL FEE PARKS & REC ANNUAL SECURIT	378.00 31.50 378.00 378.00 390.60	1,556.10
20240621	2024-08-16	ALBERTA PARKING LOT SERVICES INC.	26345	PAYMENT REPAINT & COLD POUR CRACK	23,415.00	23,415.00
20240622	2024-08-16	BENTLEY ESSO	31072024	PAYMENT VEHICLE/EQUIPMENT GAS/DIES	1,778.52	1,778.52
20240623	2024-08-16	BLACK PRESS GROUP LTD.	127152	PAYMENT ADVERTISING RIMBEY REVIEW	150.72	150.72
20240624	2024-08-16	CARSON, BARB	05082024 12082024 17062024	PAYMENT DOLLARAMA - CANDY FOR PAR/ INTERGENERATIONAL PROGRAI PARADE COSTUME	49.60 433.25 49.93	532.78
20240625	2024-08-16	CHAPMAN RIEBEEK LLP	2408007	PAYMENT GENERAL MATTERS	249.90	249.90
20240627	2024-08-16	EMPRINGHAM DISPOSAL CORP.	67967	PAYMENT RECYCLING FOR JULY	2,525.78	2,525.78
20240628	2024-08-16	G.L.D.C. GAS CO-OP LTD.	701945	PAYMENT FIRE DEPARTMENT NATURAL G/	46.08	46.08
20240629	2024-08-16	GO SERVICES INC.	15174342	PAYMENT PORTAPOTTIES MAINTENANCE	693.00	693.00
20240630	2024-08-16	GOVERNMENT OF ALBERTA	1800029145	PAYMENT POLICE FUNDING MODEL FISCA	55,100.00	55,100.00
20240631	2024-08-16	GREGG DISTRIBUTORS LP	027-171863 059-662716 059-663532 059-664690 059-664691 059-669110	PAYMENT WATER - BUTTERFLY VALVE HAF PARKS & REC GENERAL SUPPLI GARBAGE, COMMON SERVICES GARBAGE & SHOP SUPPLIES SHOP GENERAL SUPPLIES PARKS & REC GARDEN HOSE	271.10 47.79 233.93 507.61 277.53 145.86	1,483.82



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Cheque		Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
Cheque #	Date					
20240632	2024-08-16	HHID	069509	PAYMENT DIRECTOR EMERGENCY MANAC	787.50	787.50
20240633	2024-08-16	INNOV8, DIGITAL SOLUTIONS INC.	IN505790 IN505791	PAYMENT OFFICE PHOTOCOPIER & NEIGH- FCSS PHOTOCOPIER	863.48 14.03	877.51
20240634	2024-08-16	KEY AGVENTURES INC.	IR84288	PAYMENT PARKS & REC MOWER REPAIRS	106.87	106.87
20240635	2024-08-16	LACOMBE COUNTY	IVC00045393	PAYMENT BENTLEY FIRE DEPARTMENT 2M	1,178.74	1,178.74
20240636	2024-08-16	MAGNUM HYDROVAC	1128	PAYMENT ARENA ICE PLANT LOCATE GAS	1,008.00	1,008.00
20240637	2024-08-16	MY TECH ONSITE	AGR-MT 282	PAYMENT 30 HOURS PREPAID SUPPORT	2,677.50	2,677.50
20240638	2024-08-16	OUTLAW ELECTRIC LTD.	10190 10193	PAYMENT ARENA- LABOUR & BLDG MATEF ARENA - LABOUR MAINTENANCI	1,106.36 102.90	1,209.26
20240640	2024-08-16	RIMBEY EXPRESS	3620	PAYMENT WATER SAMPLES & RETURNS F	137.50	137.50
20240641	2024-08-16	RUSSEL METALS INC.	63495368	PAYMENT PARKS & REC PICNIC TABLES	491.40	491.40
20240642	2024-08-16	SERVUS CREDIT UNION	31072024	PAYMENT SERVUS MASTERCARD BILL FOI	1,362.05	1,362.05
20240643	2024-08-16	SPECIAL EVENT RENTALS	365775-5	PAYMENT BENTLEY RODEO RENTAL -TABL	1,536.38	1,536.38
20240644	2024-08-16	STANTEC ARCHITECTURE LTD.	1917767	PAYMENT BENTLEY ICE PLANT REPLACEM	1,854.30	1,854.30
20240645	2024-08-16	TELUS COMMUNICATIONS INC.	04082024 04082024. AUG042024	PAYMENT TELUS COMMUNICATIONS BILL I INTERAC LINE ARENA WIFI	454.37 37.54 78.75	570.66
20240646	2024-08-16	TELUS MOBILITY INC.	09082024	PAYMENT PW CELL PHONES & FIRE DEPAI	82.53	82.53
20240647	2024-08-16	UNIFIED ENERGY 8760 LTD.	26470-072024	PAYMENT SHARE OF ENERGY SAVING AUI	743.95	743.95
20240648	2024-08-16	WASTE CONNECTIONS OF CANADA INC.	7424-00002652	PAYMENT COMMERCIAL WASTE PICKUP FI	1,285.46	1,285.46
20240649	2024-08-16	WILD ROSE ASSESSMENT SERVICES	9476	PAYMENT PROGRESS PAYMENT FOR AUG	1,330.88	1,330.88
20240650	2024-08-16	WOLF CREEK BUILDING SUPPLIES	687335 691330 693924 694768	PAYMENT ARENA SIGN ARCH WAY MAINTE PARKS & REC PICNIC TABLES P/ GUTTER EXTENSION MAINSTRE PARKS & REC PAINT	370.13 377.50 2.61 384.24	1,134.48
20240651	2024-08-16	FIRST CONTACT PROTECTION SERVICES	2984	PAYMENT SECURITY FOR RENTAL CHAIRS	752.85	752.85
20240652	2024-08-16	HT CATERING & MEATS	INV-0758	PAYMENT DIGNITARIES LUNCHEON AUGU:	2,934.75	2,934.75
20240653	2024-08-21	LANDRY, BRADY	2024123	PAYMENT BRADY LANDRY	5,985.00	5,985.00



TOWN OF BENTLEY

Cheque Listing For Council

Cheque #	Date	Vendor Name	Invoice #	Invoice Description	Invoice Amount	Cheque Amount
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Total 409,255.94

*** End of Report ***



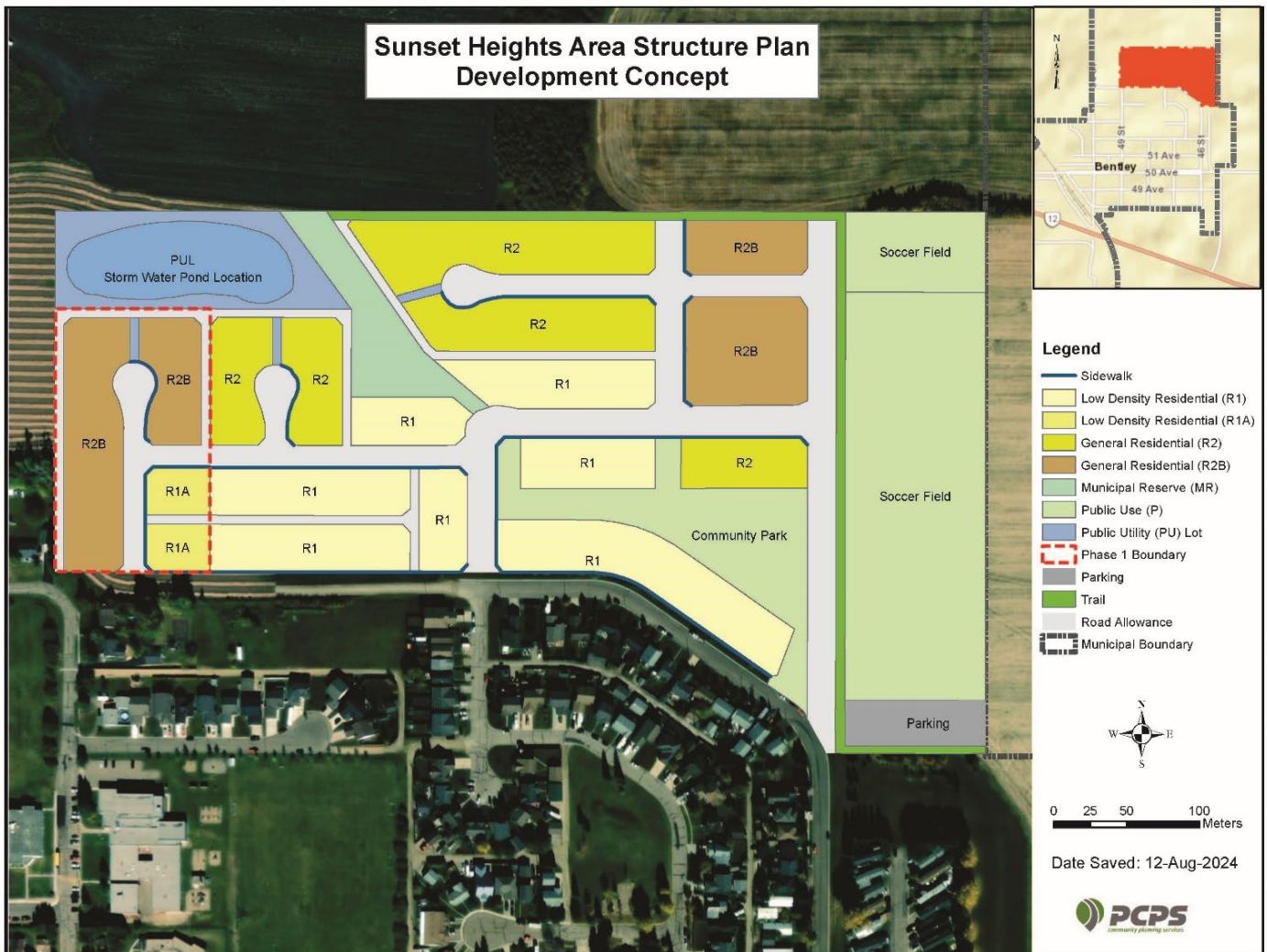
Agenda Date: August 27, 2024

Agenda Item: New Business:
Sunset Heights Area Structure Plan Draft

SUMMARY AND BACKGROUND

Sunset Heights Areas Structure Plan (**Figure 1**) is intended to create a framework for future subdivision and residential and recreational development of lands that are owned by the Town of Bentley in the North Side of the Community.

Figure 1 Sunset heights Area Structure Plan Concept



The area covered by the plan is approximately 17.81 ha (44 acres) (**Figure 2**) in total size and is legally described as SW 26-40-1-W5M. It is located within the Urban Reserve (UR) District. The area also includes phase 1 (**Attachment #1**) which has been developed and is formerly known as the New Beginnings Subdivision.

The Town owns the entire parcel and in phase 1 a total of 25 lots are currently fully serviced. Out of those 25 lots 4 lots were sold and a 4plex was constructed and occupied. 1 lot was developed as a single-family dwelling and is occupied. Currently 3 additional lots have been sold in 2024, and construction is beginning on two of them.

The subject site is located within the former Northeast Area Structure Plan (**Figure 3**), which was adopted in 1993 and envisioned as a low-density residential development. Although some development has occurred as a result of that initial ASP, the majority of the land remained undeveloped.

Figure 2 Site Area



Figure 3 1993 Development Concept



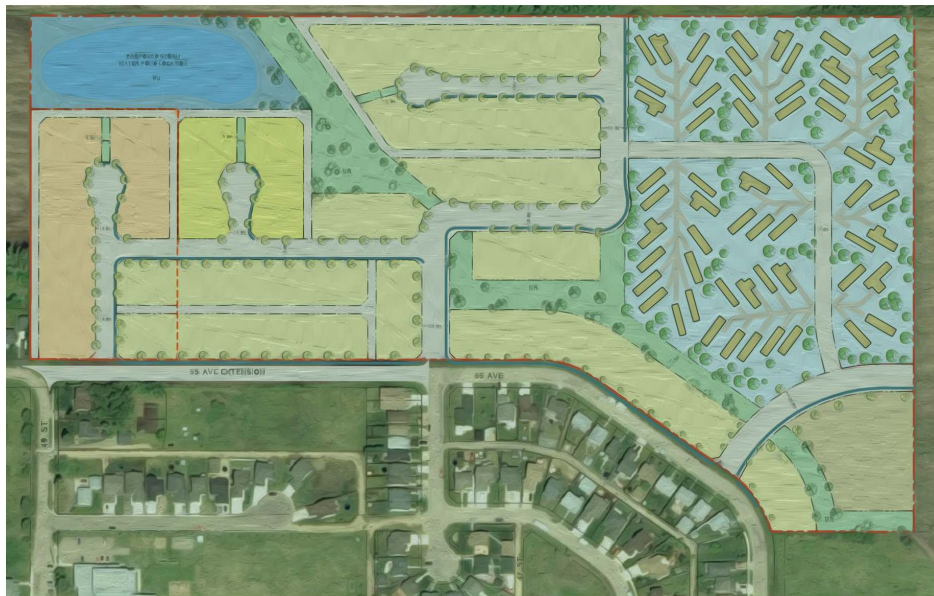
In 2005 and 2006 the site was revisited, and a number of environmental and engineering studies were undertaken to further assess the development potential of the property. **Figure 4** shows the revised development concept, which envisioned a neighborhood featuring detached single-family homes, however again it did not lead to development of the subject property.

Figure 4 2005 Development Concept



Further in 2014, the Town of Bentley again revisited the plan with the help of WSP and created the Summersault Area Structure Plan (ASP) as shown in (**Figure 5**) below. The Plan was passed through Bylaw 178/2014 (**Attachment #2**), which also rescinded the former Northeast Area Structure Plan Bylaw 528/93.

Figure 5 2014 Summersault Area Structure Plan



The adjacent land to Phase 1 is under consideration to incorporate additional recreational space and to remove the previously designated areas for an expansion of the Manufactured Home Park. This is the intent and purpose of revising the Area Structure Plan formally know as the Summersault Area Structure Plan, which is now being considered with a new name Sunset Heights Area Structure Plan (**Attachment #3**).

To properly revise the Summersault Area Structure Plan (ASP) developed by WSP in 2014, it is crucial to understand the governing documents and existing land use policies. Additionally, reviewing past technical documents was essential for assessing the developments feasibility and identifying any design related issues that may need to be addressed. As a result, the new Sunset Heights ASP must conform to the policies outlined in the Town's most recent Municipal Development Plan adopted in 2016 and the Town's new Community Strategic Plan adopted in 2024. In addition, once the Sunset Heights ASP is finalized , the town will recommend repealing the current Summersault ASP as part of the approvals process for the new Sunset Heights ASP.

The Town's consultant Parkland Community Planning Association (PCPS) has undertaken a thorough review of the MDP 2016. Community Strategic Plan 2024, Northeast Area Structure Plan (1993), Parks and Open Space Plan (2008), Land Supply and Future Growth Assessment Document, and the 2016 Land Use Bylaw and current proposed revisions to the Land Use Bylaw.

In addition to considering previous plans, policies, and strategies it was important to involve the Bentley community in the decision-making process so that any new plan reflects the desires, wants, and needs of the community. Therefore, two community surveys were undertaken in 2024, one for the new strategic plan, which ran in April and closed on April 26, 2024. The second, specifically regarding revisions to the Summersault Area Structure Plan ran in June and closed on June 24, 2024. Both Surveys made it clear that manufactured homes were not a priority for this area, and instead the community expressed a strong and enthusiastic desire for additional recreation space and a soccer field. This feedback has been taken into consideration and has been incorporated into the new ASP.

CURRENT STATUS

In developing the new ASP several key factors have been considered including:

1.) Residential Land Use Districts in the Concept Plan

- Variety of housing types for current and future residents with diverse family structures and income levels.
- Flexibility of the plan that follows the MDP maximum of 15 units per hectare.
- Incorporation of recreation space – soccer field, park areas and 26.7 acres of net residential land.
- Alignment to existing land uses to the south by introducing detached SFD along 55th avenue. Remainder of site features a blend of detached SFD, duplexes, row houses, and multi-unit development potential.
- Multi-unit proposed in proximity to recreation space and includes a buffer zone between the residential and recreation space to ensure peaceful living environment while having convenient access to amenities.
- Compatibility and adequate parking space provisions will be determined during the development permit stage. Neither of these sites isolate individual parcels nor restrict.
- Neighborhood park and open space corridor have been integrated throughout the entire development. The open space corridor through the plan also continues to function as a stormwater drainage channel culminating with a dry landscaped stormwater retention pond in the northwest corner of the development.

2.) Land Use Statistics

Table 5) Land Use Statistics		
Land Use	Area (acres)	Percentage
Plan Area (total)	44.05	100%
Residential Development	26.74	61.70%
Public Parks and Open Space – Municipal Reserve	6.51	14.78%
Circulation – Roads and Lanes	7.83	17.78%
Public Utility – Stormwater Pond	2.97	6.74%

3.) Transportation and Road Network

Integrated urban transport and road network with better flow than the previous ASP. This takes into consideration extensions of 47A and 46 St to create better flow than the previous plans. The incorporation of green space will also allow for snow storage in winter to assist Public Works operations. There is a more efficient grid pattern established than in the previous ASP to allow for better access, circulation, and overall improved maintenance ability.

4.) Incorporation of New Soccer Field and Recreation Space

The public spoke and we listened. Amenities for youth including soccer fields, sports fields and running track to support the school to promote physical activity and provide a space for social interaction. The area will include additional parking and phaseable amenities such as bleachers, washrooms etc.

The Plan is being presented to council (**Attachment 4 – Power Point Sunset Heights Area Structure Plan**) for additional feedback and direction regarding next steps. If Council is comfortable with the current draft plan of the ASP, and has no additional feedback, we will finalize it and move forward with the formal design of the soccer field. If there is additional feedback, we can look to incorporate and revise the plan accordingly.

BUDGET AND FINANCIAL

- **\$19,000 for Planning work related to the ASP revisions. This included survey, research, draft, presentations, and finalization.**
- **Soccer Field cost finalization will be calculated once Lacombe County has a chance to review a finalized conceptual design and undertake materials and time calculations.**

RECOMMENDATION

THAT Mayor and Council accept this update as information; AND

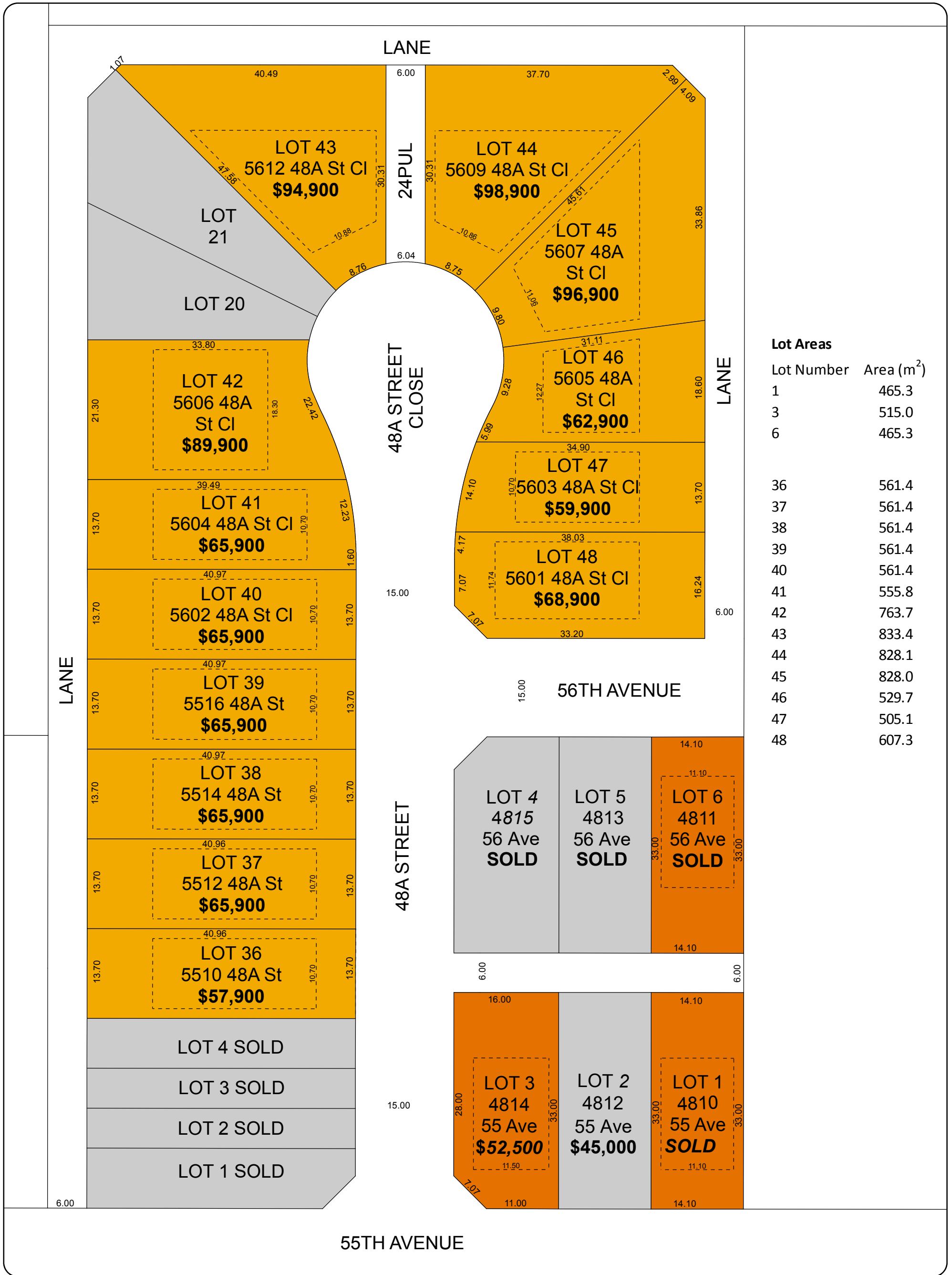
THAT Administration bring back the finalized plan to Council on September 10, 2024, for consideration of first reading of the Bentley Sunset Heights Area Structure Plan 2024 and the rescinding of the Summersault Area Structure Plan; AND

THAT a Public Hearing be scheduled for September 24, 2024, if first reading is approved on September 10, 2024.

ATTACHMENTS

- 1) Map – Phase 1 Sunset Heights Subdivision
- 2) Summersault Area Structure Plan
- 3) Sunset Heights Area Structure Plan Draft
- 4) Power Point Sunset Heights Area Structure Plan

Marc Fortais, CAO



Lot Areas

Lot Number	Area (m ²)
1	465.3
3	515.0
6	465.3
36	561.4
37	561.4
38	561.4
39	561.4
40	561.4
41	555.8
42	763.7
43	833.4
44	828.1
45	828.0
46	529.7
47	505.1
48	607.3

SUNSET HEIGHTS SUBDIVISION

- Parcels Not Owned By Town
- Building Envelop
- Single Family Detached (R2B)
- Single Family Detached (R1A)

Land Use Bylaw Designations: Low Density Residential (R1A)
 General Residential (R2B)

Yard Requirements:
 Front Yard 6.0 m
 Side Yard 1.5 m or 3.0 m on Corner Parcel
 Rear Yard 10.0 m



NOTE: All dimensions are metric.

N.T.S.

April 2023



By-law No. 178 / 2014

A By-law of the Town of Bentley, in the Province of Alberta, to rescind the North East Area Structure Plan By-law No. 528/93 and adopt the Summersault Area Structure Plan

WHEREAS, the Council of the Town of Bentley has recognized the need to prepare a new Area Structure Plan to establish the framework and guide the future development for the land legally described as S.W. 26-40-1-W5M, consisting of approximately 17.81 hectares (44 acres), as attached hereto as Schedule A and forming part of this By-law;

AND WHEREAS, Section 633 of the Municipal Government Act, Chapter M-26 of the Revised Statutes of Alberta, provides for the development and adoption of an Area Structure Plan;

AND WHEREAS, notice was given of Council's intention to pass this By-law in the August 5th, 2014 and August 12th, 2014 issue of the Rimbey Review;

AND WHEREAS, a Public Hearing was held on August 19th, 2014 to allow the general public to comment on the proposed Summersault Area Structure Plan;

NOW THEREFORE, the Council of the Town of Bentley, duly assembled, rescinds the North East Area Structure Plan By-law No. 528/93 and adopts the Summersault Area Structure Plan, being land legally described as the S.W. 26-40-1-W5M, as described in Schedule A, attached hereto and forming part of this By-law.

By-law No. 178 / 2014 read a first time this 29th day of July, 2014.

By-law No. 178 / 2014 read a second time this 19th day of August, 2014.


Initial

Amendment: Moved by Deputy Mayor Butch Howard that By-law No. 178/2014 be amended as follows:

That maps Schedule A – Land Use Plan and Schedule B – Landscaping Plan be amended to show that the row of future housing running east to west, abutting the currently developed 55th Avenue, will be designated Low Density Residential District (R-1) to provide for single family detached dwellings as set out in Clause 5.1 (1) b) and Figure 6: Area to be developed only for detached single family homes (shown in yellow).

By-law No. 178 / 2014 read a third time, *as amended*, and finally passed this 19th day of August, 2014.



Mayor



Chief Administrative Officer



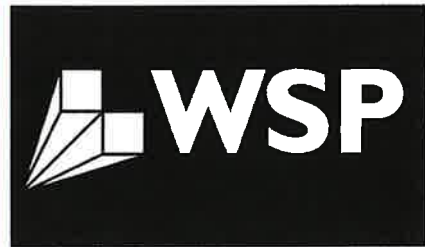
Summersault Area Structure Plan

Summersault Developments

SW 26-40-1-5

Bentley, Alberta

September 15, 2014



141-16071-00

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SCHEDULES

SCHEDULE A - Land Use Plan

SCHEDULE B - Landscaping Plan

SCHEDULE C - Road Plan

SCHEDULE D - Water Distribution System

SCHEDULE E - Sanitary Sewer System

SCHEDULE F - Stormwater System

1. INTRODUCTION

1.1 Purpose

The purpose of the Summersault Residential Area Structure Plan is to establish the framework for the future subdivision and development of the subject site legally described as SW 26-40-1-W5M. The Area Structure Plan provides detailed information on future land uses, densities, the location of parks and open spaces, vehicle circulation and municipal infrastructure. The Area Structure Plan has been prepared in consultation with Town Staff and is subject to the review and approval of Council.

1.2 Site Location, Context and History

The subject site is located in the north eastern portion of the Town of Bentley, north of 55th Avenue and east of 49th Street. The site is approximately 17.81 ha (44.0 acres) in size and located within the Urban Reserve (UR) District. As outlined in the Land Use Bylaw, the purpose of this district is to “*reserve land for future subdivision and Development until an overall plan is prepared for and approved by Council*”.

The lands surrounding the site to the north, east and west are primarily undeveloped farmland. Lands immediately south consist of predominantly detached single-family homes within either the R1 (Low Density Residential) District or R2 (General Residential) District.

Figure 1: Site Location (shown in red)



The subject site is located within the former North East Area Structure Plan (Figure 2). This plan was adopted in 1993 and envisioned as a primarily low density residential development. While it appears some development occurred as a result of the ASP, the majority of the land remained undeveloped. In 2005 and 2006 the site was revisited with a number of environmental and engineering studies undertaken to assess the development potential of the property. This development concept (Figure 3)

also envisioned a neighborhood featuring detached single-family homes; however, it did not lead to the development of the subject property.

Figure 2: Northeast Area Structure Plan Concept (1993)

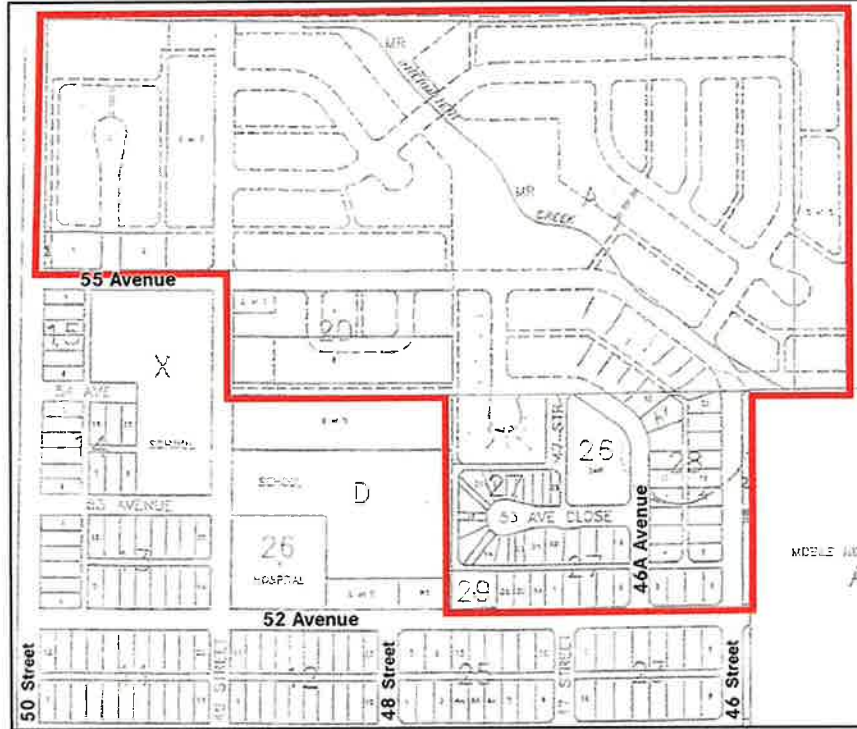


Figure 3: 2005 Development Concept



2. DEVELOPMENT CONCEPT

The proposed Land Use Plan is provided in Schedule A. The goal of the development is to provide numerous housing alternatives and styles not presently found in Bentley. While the exact breakdown and of the residential land uses is currently unknown, it is the developer's intent to provide a mixture of single-family, duplex, townhouse, manufactured dwellings and small apartment buildings. The limited housing alternatives are evidenced by the 2011 Census which indicates 86% of private dwelling units are detached single-family dwellings.

Roads and lots were designed around the natural drainage channel that runs northwest across the property to a proposed stormwater detention pond. While not a regulated water feature, the drainage channel provides a natural open space for the development. In addition to helping to manage stormwater, the drainage channel and stormwater pond are intended to be designed as public amenities and recreational space.

2.1 Land Use

The focus of the Land Use Plan (Schedule A) is to provide a variety of residential housing alternatives integrated with a high quality open space and trail network. Table 1 provides a breakdown of the land use statistics associated with the proposed development with the various land uses being described in more detail below.

Table 1: Land Use Statistics		
<i>Developable Area</i>	<i>Area (acres)</i>	<i>%</i>
Plan Area (total)	43.98	100%
Environmental Reserve (Drainage Channel)	0.99	2.3%
Developable Area	42.99	97.7%
<i>Land Use</i>	<i>Acres</i>	<i>% of Developable Area</i>
R1 (Low Density Residential) District	3.46	8.0%
R2 (General Residential) District	14.33	33.3%
R3 (Manufactured Home) District	12.11	28.2%
Circulation - Roads and Lanes	7.17	16.7%
Municipal Reserve (MR)	2.72	6.3%
Public Utility Lot (PUL)	3.21	7.5%

2.1.1 Residential

The land use plan integrates within the existing land use pattern immediately south by proposing detached single-family homes along 55 Avenue across from existing development. The remaining portions of the property is intended to feature a mixture of detached single-family dwellings, duplexes,

row houses, multi-unit housing developments (consistent with the R1 and R2 Districts) and a manufactured home park (consistent with the R3 District). The variety of housing types provides new alternatives for existing and future residents of varying family composition and income levels. While the location of some land uses is provided in Schedule A, it is important to note that the exact disbursement and location of various land uses could change based on market demand. Development in smaller communities requires flexibility in terms of housing types as the market is often somewhat unknown and subject to dramatic shifts.

The Municipal Development Plan (MDP) stipulates a maximum density of 30 units per hectare for new developments. Based on 12.17 hectares of net developable land (Table 1), the site could accommodate 365 dwelling units under the MDP. It is estimated that the development (based on the current land use plan) could have between 240 and 275 residential units. While the exact density is not known at this time, at no point should the number of residential units exceed the 365 units permitted.

The residential streets will consist of a mix of lane and laneless dwellings. Detached single-family homes will be located along 55 Avenue immediately across from existing single-family homes. This is intended to provide a transition between the existing development and the proposed, higher density development on the subject site.

Manufactured homes continue to be a desirable homeownership option for young families, first time home buyers and lower income individuals. In understanding this, a manufactured home park has been proposed at the eastern portion of the subject site. The park will provide options for both single and double-wide manufactured homes with or without garages.

2.1.2 Open Space and Stormwater Detention Pond

The northwest corner of the site is designated for a stormwater detention pond. This is consistent with previous development concepts, engineering assessments and is based upon the natural topography and seasonal drainage channel found on the site. The seasonal drainage channel is not a regulated watercourse however it has been designated as Environmental Reserve. In addition to its benefits from a stormwater management perspective, the seasonal drainage channel and stormwater pond present the opportunity for an open space/park corridor extending from the southeast corner of the site to the northwest corner.

A trail network will be incorporated along the open space and provide a natural amenity feature and improved pedestrian connectivity within the development. The stormwater detention pond is intended to be a landscaped dry pond, designed to serve as an amenity and recreation feature for residents in addition to its stormwater management functions. Details surrounding the proposed open space and landscaping are outlined in Schedule B. The trail network and landscaping will be the responsibility of the developer with specifics surrounding the design being finalized at the detailed design stage of future phases.

2.2 Road Network

Three accesses to the subject site from 55 Avenue have been proposed. The Developer will be responsible for constructing the remaining portion of 55 Avenue between 49 Street and 47A Street. Road reserves are provided to the lands immediately north and east. Sidewalks have proposed along one side of the street and connect with the proposed trail network. The width and design of roadways in the development are based on consultation with Town Staff who are utilizing the standards currently in place for the City of Red Deer. Details surrounding the proposed roadway design are outlined in Schedule C.

2.3 Site Servicing

WSP Group prepared a Preliminary Servicing Study for the proposed development to determine the serviceability of the proposed development relative to Town's existing infrastructure. The following subsections outline the findings of this study.

2.3.1 Existing Conditions

The site is primarily rolling agricultural land. A seasonal watercourse meanders west from the southeast corner to the northwest corner of the site. Sanitary and water mains currently exist along 55 Ave.

2.3.2 Water Distribution System

The proposed water distribution system involves three connections to the existing water main in 55 Avenue and will include two stubs to allow for the future servicing of properties to the north and east. The watermain sizes will be 200mm, other than fire hydrant leads and dead end lines. There is a 250mm line provided to the north as identified in the North Bentley Development Study prepared by GM Will Consulting Limited. Modelling of the system will be completed as part of an Area Structure Plan to confirm sizing provided. Further details surrounding the proposed water distribution system can be found in Schedule D.

2.3.3 Sanitary Sewer System

The proposed sanitary sewer system is outlined in Schedule E. To achieve proper cover on the pipe the existing sanitary main in 55 Avenue will be reconstructed to the west as shown. This new 250mm main will service the entire development with a stub to the north and east for future servicing, as per the North Bentley Development Study prepared by GM Will Consulting Limited. Some fill will be required in a couple of the cul-de-sacs to achieve the minimum cover. These lots will most likely become walk out lots.

2.3.4 Site Grading and Major (Overland) Drainage

Road grades and surface drainage are designed to follow the natural land topography where practical. The general overland water flow is from the southeast to the northwest. Section 2.3.5 of this document provides greater detail on the overall stormwater concept.

2.3.5 Stormwater System

The stormwater drainage system is based upon the Dual Drainage Concept with minor and major

systems. The overall stormwater concept is provided in Schedule F.

A previously prepared stormwater report by Stantec in April, 2006 is still relevant today. The major changes are that predevelopment rates have gone down over the years and the predevelopment rate Stantec used of 13.6 litres per second per hectare (l/s/ha) is on the high side. Current rates are around 4 to 6 l/s/ha in this area. Based on a rate of 5 l/s/ha, the pond size would change requiring approximately 8,700 m³ in area versus the 5,500 m³ that Stantec had indicated. We have reviewed the pond area provided in the previously approved Outline Plan and determined it will be adequate for the increased storage volume. Modelling of the system will be completed as part of the Area Structure Plan to confirm the pond size.

The stormwater management facility will be dry pond designed as a landscaped feature. All inlets to the facilities will have sedimentation forebays designed to Alberta Environment Guidelines to remove suspended sediment.

2.3.6 Erosion and Sediment Control

During construction, silt fencing will be installed around the site, where feasible, to mitigate off-site flow of soil. All stockpiled material will have silt fence installed at the toe of the pile.

The storm ponds will have North American Green 'SedimentStop' or equivalent filtration system installed around the perimeters until the landscaped vegetation inside the ponds has matured enough to effectively reduce sediment pollution.

3. DOCUMENT REVIEW

In order to properly evaluate the proposed development, it is important to understand governing documents and existing land use policies. Furthermore, a review of past technical documents allows for the assessment of the feasibility of the development and any issues that may need to be addressed through design. The following section highlights relevant findings from existing policy documents and past studies.

3.1 Planning Documents

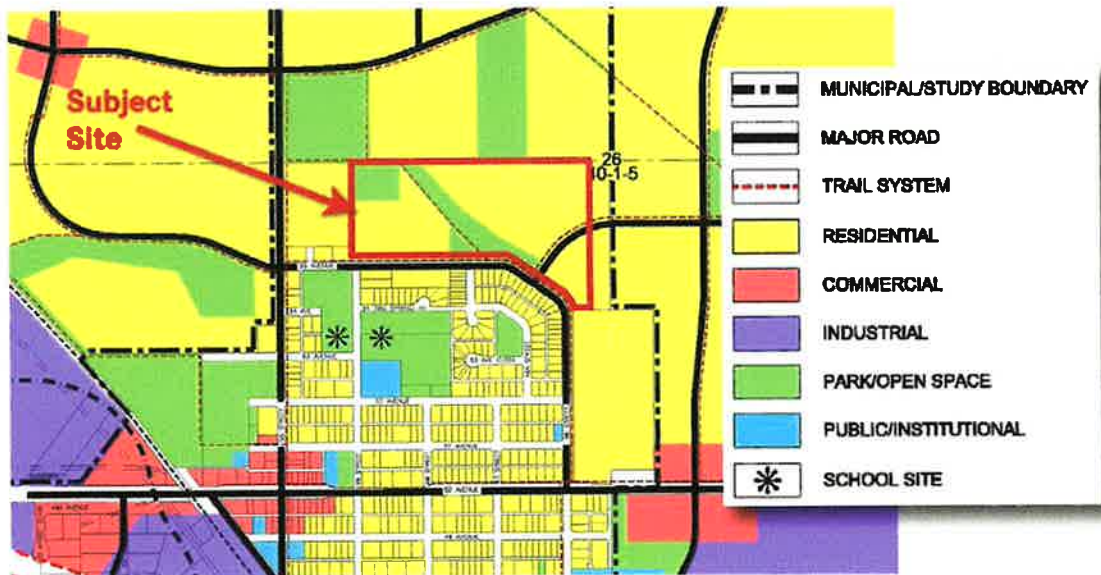
3.1.1 Town of Bentley: Municipal Development Plan (2007)

A Municipal Development Plan (MDP) establishes policies to manage growth across an entire municipality, while identifying the location of residential, commercial and industrial areas, environmentally sensitive areas, parks and major utility expansions.

The Town of Bentley MDP addresses a variety of municipal planning issues and objectives, particularly as they relate to future land uses and residential growth areas. To this point, a primary residential objective is to “ensure a variety of housing types to meet the community lifestyles and market requirements”, which is consistent with the Land Use Plan.

The subject site is located within an area identified for ‘Residential’ development. Additionally, ‘Park/Open Space’ has been identified in the areas as generally depicted on the Land Use Plan (Schedule A). The MDP also indicates a road from 55 Avenue is planned to provide connectivity to the eastern portion of the town. This has also been accounted for in the Land Use Plan. Figure 4 highlights the subject site relative to the MDP.

Figure 4: Town of Bentley MDP Land Use Concept



The following table outlines MDP policies that apply to the proposed development along with comment as to how it has been addressed:

Table 2: Municipal Development Plan Policy Matrix	
Policy and Comment	Text
Policy 4.3.4	<i>The overall density of the Town should not exceed 15 dwellings units per gross developable hectare (6 dwellings units per gross developable acre).</i>
Comment	Based on the 2011 Census, the Town has 469 private dwelling units and land area of 230 hectares (ha). This provides a density of 2.04 units per gross hectare. At the maximum permitted density the proposed development would have 365 units which would bring the Town's overall density to 3.63 units per gross hectare. While these densities are not based on developable hectares, unless over 2/3 of the Town is undevelopable, the proposed development would be in conformance with this policy.
Policy 4.3.5	<i>The Town encourages the provision of a variety of housing forms...single family detached dwelling units should be a minimum of 70 percent of total potential dwelling units. Duplexes may contribute up to 10 percent...row house (townhouse), apartment developments should not exceed 20 percent...</i>
Comment	The Town's planning consultant has clarified that this policy is intended to apply to the entire town. The proposed development seeks to provide a mixture of housing types. While the exact ratio of each housing type is unknown, the first phase will feature detached single-family and townhouse units.
Policy 4.3.7	<p><i>Factors to be considered in the potential approval of any site for multiple family housing are:</i></p> <ul style="list-style-type: none"> a) <i>Direction provided in an approved Area Structure Plan;</i> b) <i>Direct access to a collector or arterial road;</i> c) <i>Convenient access to institutional, recreation and community facilities and open space;</i> d) <i>Existing housing area suitable for increased residential density;</i> e) <i>Compatibility (e.g. height, volume, appearance) with existing housing;</i> f) <i>Proximity to commercial services and facilities;</i> g) <i>Potential impact of additional traffic on adjacent development;</i> h) <i>Availability of space on site to meet parking requirements;</i> i) <i>The development does not isolate an individual lot that it could not be subsequently redeveloped; and</i> j) <i>The presence of other medium and high-density buildings on the block face.</i>

Comment	<p>There is one site within the plan area that is identified for multiples family housing. It is planned for between two or three individual multi-unit buildings with approximately 8-12 units. Depending on market demand this could shift to two 18 unit buildings or one 36 unit building on each site.</p> <p>The site is located on the east side of the plan area south of the manufactured home park. This site is also adjacent to the natural drainage channel and open space. This multi-family site is located on a local road, however based on the MDP Land Use Map, it appears this will eventually be a collector or arterial road.</p> <p>Compatibility and adequate parking space provisions will be determined during the development permit stage. Neither of these sites isolate individual parcels nor restrict redevelopment.</p>
Policy 4.3.12	<i>Adequate parks and open space shall be provided...</i>
Comment	As per the Land Use Plan, a park and open space corridor has been integrated throughout the entire development. This corridor also functions as a stormwater drainage channel, culminating with a dry landscaped stormwater detention pond in the northwest corner of the proposed development.
Policy 7.3.5	<i>The Town requires that the type and alignment for major roads be established in area structure plans.</i>
Comment	Roads will be designed based on the City of Red Deer standards. This standard dictates a 15 m right of way for local roads with a 10 m wide paved surface. Collector roads and roads connecting to existing 20 m right of way will be developed as a 20 m right of way.
Policy 9.3.1 & Policy 9.3.4	<p><i>Upon subdivision, the subdivision authority shall require the provision of up to 10 percent of the land as municipal reserve...</i></p> <p style="text-align: center;">- & -</p> <p><i>The Town may...dedicate public utility lots towards overall reserve dedications...</i></p>
Comment	The proposed development dedicates approximately 1.1 ha (6.3%) of land as municipal reserve (MR). These lands create a linear park system linking the entire development. In addition, the public utility lot (PUL), is intended for a dry landscaped stormwater detention pond, contributes an additional 1.3 ha (7.5%) of reserve land which could be designed as a dual stormwater management pond and park/open space. Depending on the determination of Council, any outstanding MR dedication would be paid cash-in-lieu.

In summary, the proposed Land Use Plan is in conformance with the policies and mapping established in the MDP. The proposed development represents a logical extension of residential land uses and municipal services, and, most notably, the proposed development satisfies the Town’s residential growth objectives.

3.1.2 Town of Bentley / Lacombe County Intermunicipal Development Plan (2009)

The Town of Bentley and Lacombe County established an Intermunicipal Development Plan (IMDP) to provide direction related to land use in areas that reflect both the mutual and independent interests of both municipalities. As it relates to the Summersault Area Structure Plan, the IMDP provides broad

policy direction addressing growth management, environmental management and residential development. The following outlines relevant policies from the IMDP:

Table 3: Intermunicipal Development Plan Policy Matrix	
Policy and Comment	Text
Policy 2.3	<i>Both municipalities shall provide a variety of development opportunities within their jurisdiction maintaining the character of their respective communities.</i>
Comment	The proposed development is intended to provide new housing alternatives currently not available within Bentley which is in accordance this policy.
Policy 3.3	<i>Subdivision applicants shall be required to dedicate all lands that qualify as environmental reserve in accordance with the provisions of the Municipal Government Act.</i>
Comment	The drainage channel located on the property could be considered environmental reserve at the discretion of the Town. Given the seasonal nature of the channel it could also be developed or integrated into the subdivision, through approval by the Provincial Department of Environment and Sustainable Resource Development (ESRD). Neither the MGA nor IMDP provide clear direction as it relates to setbacks from drainage channels though ESRD does recommend a 6 metres buffer. Through consultation with Town Staff, this setback was deemed appropriate and applied to the development concept.
Policy 4.3.7	<i>A regional trail network shall be encouraged connecting points of interest within the Town and County to residential developments, natural features and other locations of cultural or recreational value.</i>
Comment	A trail network has been proposed along the drainage channel within the subdivision. This is in accordance with the Town's MDP and the above noted policy.

3.1.3 Village of Bentley: North East Area Structure Plan (1993)

An Area Structure Plan (ASP) provides specific direction on how a specific area within a municipality is to develop, identifying the specific mix and density of land uses as well as layout of streets and blocks. The subject site is located within the former North East Area Structure Plan (NEASP). The NEASP was prepared in order to establish a development concept, planning policies and implementation strategy for the subject site and immediate surrounding area. The intent of the Plan was to provide guidance on the following development considerations:

- **Transportation:** the main objective of the NEASP was to extend 46th Street and 55th Avenue into the subject site. A series of local roads, including laneways designed for residential purposes, would

service the remaining lands.

- **Service and Utilities.** Prior studies indicated that the NEASP could accommodate 580 persons. A lift station would likely be required to service sewage disposal, and a storm water retention pond was proposed to service stormwater by gravity flow.
- **Future Land Uses.** The NEASP identified this area for major future residential growth consisting of a variety of housing types and densities. The envisioned plan was to foster the logical extension of existing residential areas into the NEASP. Specifically, it was projected that the subject site currently under consideration could accommodate 170 lots (500 persons).

The current Land Use Plan generally conforms to the 1993 NEASP, representing a logical residential expansion of the existing residential development south of 55 Avenue; an extension of major corridor roads and an internal local street network, inclusive of laneways, for individual units; and, services that include drainage channels and a storm water management pond (reference to the “Technical Documents” section below provides additional information regarding site servicing).

While the proposed development generally conforms to the above noted items, the development of alternative housing forms at a greater density on the site does not conform to the NEASP but do conform to the policies contained within the more recently adopted Municipal Development Plan. We understand it is the intent of the Town to repeal the NEASP as part of the approvals process for this proposed development.

3.1.4 Town of Bentley: Parks and Open Space Plan (2008)

According to the *Parks and Open Space Plan*, the most significant open space land base encompasses the northern sections of the Town. These lands are currently designated ‘Urban Reserve’ in the Land Use Bylaw and intended for future development. How these lands develop with respect to parks and open space should be considered in the development of this Area Structure Plan.

The proposed development’s open space (as per MDP Policy 9.3.4 above and Objective 1.3 below) will contribute to the Town’s ‘Neighbourhood Park’ and ‘Open Space Areas’ system. These are defined as “open areas designed primarily for passive and active, non-organized recreational activities”. The proposed park and open areas are intended to serve residents of the immediate neighbourhood, while simultaneously linking the development to adjacent lands.

The following *Parks and Open Space Plan* goals and objectives highlight select considerations as they apply to the proposed development’s ‘Neighbourhood Parks’ and ‘Open Space Areas’:

NEIGHBOURHOOD PARKS

Objective 1.2: Park Service Areas

“Residential neighbourhoods should be served by a developed park located within approximately 400-metres.”

- The proposed park corridor spans the entire length of the proposed development and is located well within the 400 metre radius. This corridor will provide for active linkages and leisure

opportunities for area residents.

Objective 1.3: Land Dedications

“Developers of residential neighbourhoods shall be required to contribute to park sites...”

- As outlined in Table 2 (Policy 9.3.4), the proposed development dedicates approximately 1.42 ha (8.0%) of land as municipal reserve (MR). These lands create a linear park system linking the entire development. In addition, the public utility lot (PUL), is intended for a dry landscaped stormwater detention pond, contributes an additional 1.20 ha (6.7%) of reserve land which could be designed as a dual stormwater management pond and park/open space. Depending on the determination of Council, any outstanding MR dedication would be paid cash-in-lieu.

Objective 3.1: Co-Location Opportunities

“Explore the feasibility to locate parks within storm water detention facilities provided sufficient park space can be provided.”

- The proposed park corridor functions as a stormwater management and drainage system, culminating with a dry landscaped storm water detention pond in the northwest corner of the proposed development.

OPEN SPACE AREAS

Objective 1.1: Network Concept

“Combine natural areas into a connected system that preserves environmentally sensitive lands, provides wildlife habitat, and creates a sense of openness throughout the community.”

- The proposed park corridor spans the entire length of the proposed development and will be fully landscaped with both natural and planned vegetation.

Objective 1.3: Recreation Opportunities

“Explore opportunities to incorporate compatible recreation and trail uses within open space areas.”

- Given the dual function as a drainage channel, as well as size and configuration limitations, the proposed open areas do not provide sufficient space for supervised parks such as soccer fields or baseball diamonds. However, passive and active recreation activities are being proposed such a trail system, and open areas suitable for leisure outdoor activities.

A primary intention of this Area Structure Plan is to continue providing high-quality residential neighbourhoods in the Town of Bentley. Providing parks and open spaces is, therefore, an essential component of this development proposal and important to the overall marketability of the development. It is understood that upon submission of detailed plans for subdivision, a parks and open space plan will be provided respective of the objectives and guidelines established in the *Parks and Open Space Plan*.

3.1.5 Town of Bentley Land Use Bylaw No. 153 (2011)

A Land Use Bylaw splits the municipality up into various districts which outline specific regulations regarding what uses are permitted on a site and guides where and how development will occur on individual parcels. The proposed land use districts for the development are outlined in Section 5.3.

3.2 Technical Studies

3.2.1 Town of Bentley: Investment Attraction Profile (2012)

According to this document, the Town of Bentley has experienced population growth over the past decade. This trend is expected to continue as primary sector employment opportunities are also anticipated to grow. In order to accommodate anticipated growth, additional residential neighbourhoods are required.

The subject property is specifically identified in this document as an “Excellent Opportunity for Land Development”. Adjacent to existing residential neighbourhoods, access to municipal services, and its general proximity to Town amenities, the subject site is identified as ideal for residential development investment.

3.2.2 Town of Bentley: Land Supply and Future Growth Potential (2013)

This document forecasts Bentley’s future residential growth opportunities over the next 30 years, and correlates anticipated growth to municipal land supply. According to this document, an annual growth rate of 1.32 % is anticipated. At this rate, the following growth scenario is anticipated:

Year	Total Population	Number of Persons Increase	Assumed Average Household Size	Number of Dwellings Increase
2012	1,147	15	2.4	6
2017	1,225	93	2.4	39
2022	1,308	176	2.35	75
2027	1,396	264	2.35	112
2032	1,491	359	2.35	153
2037	1,592	460	2.35	196
2042	1,700	568	2.35	242

Single detached and semi-detached dwellings are likely to satisfy residential development needs (100%) of new housing unit construction between 2006 and 2011. Residential land supply will, therefore, need to respond to anticipated population growth and demand for housing. Based on the Land Supply and Future Growth Study’s findings, there is adequate residential land supply to accommodate development up to and well beyond 2042. The table below highlights these findings:

Year	Total Population	Projected Demand (ha)	Overall Supply (ha)
2042	1,700	19.7	51.0

In relation to the document’s findings, the proposed development should satisfy anticipated growth potential and trends for the next 30 years.

3.2.3 Geotechnical Investigation: Proposed Bentley Residential Subdivision (2005)

This report was conducted to determine the nature and engineering properties of the site soils with regards to grading, the design of underground services, building foundations, and roadway subgrades. The investigation involved drilling eight 8 boreholes, each 6.7 metres deep, to examine soil profiles. The following soil types, in descending order, were identified:

- topsoil;
- lacustrine soils;
- till (0.3 to 1 metre below grade);
- weathered bedrock (1.8 to 4.8 metres below grade); and
- layers (approximately 1 metre thick) of dense coal were also identified in three of the eight boreholes.

According to the 2005 investigation, subsurface conditions are considered to be suitable for residential development. The most significant geotechnical issue is expected to be the presence of shallow bedrock which may impact underground service trench excavation. It is expected that buried services will be installed to depths of approximately 4 metres.

Notwithstanding this potential impact, site grading, building foundations and roadway design should follow generally accepted fill, soil and foundation engineering practices. In order to achieve the required grading on-site an approved fill, such as low to medium plastic clay, may be used. If coarse gravel is proposed, a maximum aggregate size of 100mm is recommended. Soil samples also determined that water soluble sulphates pose negligible threats to buried concrete and subgrade infrastructures.

The subject site has not been disturbed, outside of its ongoing agricultural use, since the time of this study so it is anticipated that the findings of this Geotechnical Investigation are still valid and applicable to the property.

3.2.4 Bentley North Subdivision: Phase 1 Environmental Site Assessment (2006)

A Phase 1 Environmental Site Assessment (ESA) was commissioned to identify potential environmental items that may require further site investigation or other action. The 2006 ESA concluded that the level of environmental risk associated with the subject site was low. Based on available information at the time, additional site investigation was not recommended. A secondary search of the Abacus Datagraphics (AbaData) online database on June 10, 2014 did not reveal the presence of any spills or oil and gas facilities on the subject property.

3.2.5 Traffic Impact Assessment (2014)

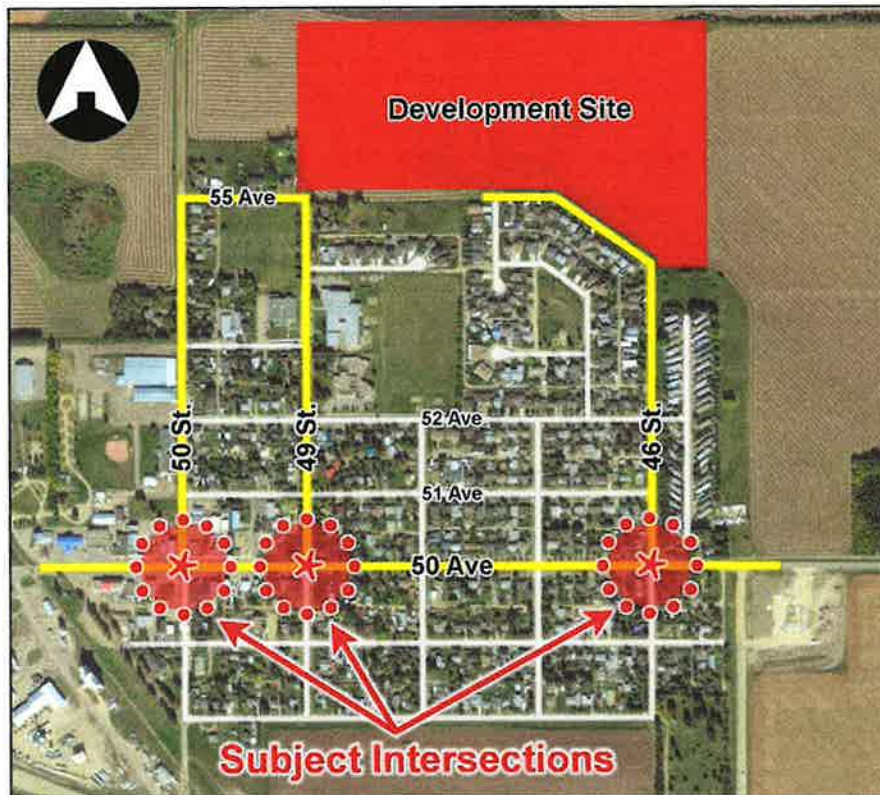
WSP Canada Inc. prepared a Traffic Impact Assessment (TIA) for the proposed development which has also been provided to the Town. A TIA is an unbiased assessment, prepared by a professional Engineer, that evaluates existing traffic conditions and infrastructure against the impact of a newly proposed development. Existing traffic conditions are determined through assessing existing traffic turning movements (obtained from Alberta Transportation or manual counts) and the geometric standards of existing transportation infrastructure and intersections. This determines the existing network's

functionality or level of service.

The existing level of service is then compared against the anticipated level of service once a proposed development is fully built-out and is based on anticipated future traffic growth and vehicle trips generated by a development during peak periods. This includes forecasting traffic volumes into the 20 year horizon. Depending on the outcomes of the modelling and assessment, upgrades to existing infrastructure and/or intersections can be required in order to maintain an acceptable level of service throughout the traffic network.

For the purposes of the proposed development, the TIA included assessments of three intersections: 50th Avenue / 50th Street, 50th Avenue / 49th Street and 50th Avenue / 46th Street 9 as shown in Figure 5.

Figure 5: Intersections Assessed in TIA



The following provides a summary of the findings from the TIA:

50th Avenue / 50th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20 year horizon.

- While not required as part of Phase 1, an exclusive eastbound left turn lane for vehicles turning left (north) from 50th Avenue onto 50th Street will be necessary at full build out of the development.
- Though not necessary based on current projections, best practices indicate the Town consider the addition of an exclusive westbound left turn lane for vehicles turning left (south) from 50th Avenue onto 50th Street.
- Traffic signals are not necessary at the intersection.
- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.
- The existing geometry of the intersection should allow for all of the above-noted changes and should be incorporated into the Town's streetscape improvement program.

50th Avenue / 49th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20 year horizon.
- While not required as part of Phase 1, an exclusive eastbound left turn lane for vehicles turning left (north) from 50th Avenue onto 49th Street will be necessary at full build out of the development. However, given the width of the existing eastbound lane at this intersection, adequate maneuvering space is available for vehicles to travel around vehicles waiting to make this left turn. Based on this, no geometric improvements to the intersection are required as a result of the proposed development, though the Town may consider adding lane markings for clarity.
- On-street parking in the vicinity of the 50th Avenue / 49th Street intersection is recommended to be limited during AM and PM peaks.
- Traffic signals are not necessary at the intersection.
- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.

50th Avenue / 46th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20 year horizon.
- A westbound right turn lane for vehicles turning right (north) from 50th Avenue onto 46th Street, though technically warranted, is not recommended. This is due to the low posted speed limit (50 km/h) and road right-of-way constraints.
- Traffic signals are not necessary at the intersection.

- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.

3.2.6 Preliminary Servicing Study (2014)

WSP Group was retained to prepare a Watermain Analysis and Stormwater Management Plan to confirm the serviceability of the existing development relative to the Town's existing infrastructure. Findings related to this analysis were previously outlined in Section 2.4 with the complete reports being provided to the Town.

4. RECOMMENDED POLICY CHANGES

4.1 Municipal Development Plan

The proposed development conforms with the Policies of the Town's Municipal Development Plan and no amendments are required to the Municipal Development Plan to permit the proposed development.

4.2 Northeast Area Structure Plan

With the approval of this Area Structure Plan the Town will repeal the Northeast Area Structure Plan.

4.3 Land Use Bylaw

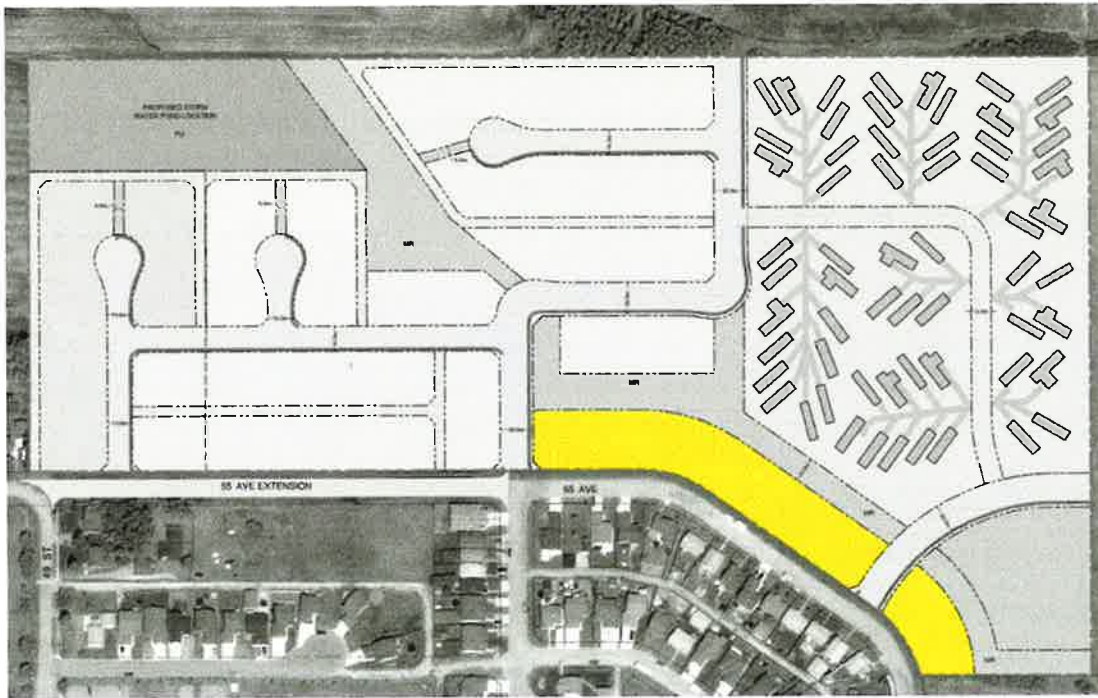
The property is currently zoned Urban Reserve and will require a rezoning which is outlined further in Section 5.3. As part of future phases of the development, the Town and Developer may explore the creation a new district aimed at allowing narrower lots.

5. IMPLEMENTATION

5.1 Development Policies

- (1) Development across the majority of the subject property will be based on market demand and allow for a variety of low and medium density residential uses consistent with the R1, R2 and R3 Districts under the Town's Land Use Bylaw. The only exceptions are as follows:
 - a) Manufactured homes shall only be located in the area zoned and designated for a manufactured home park; and
 - b) Lots directly across from existing detached single-family homes on 55 Avenue as shown in Figure 6 shall only be used for detached single-family homes.

Figure 6: Area to be Developed with Only for Detached Single-Family Homes (Shown in Yellow)



- (2) The developer and Town should work together in the final design of the proposed trail network and dry stormwater pond intended to serve as recreational and amenity features.
- (3) The manufactured home park should be screened from adjacent land uses, properties and public roads through the use screening in the form of deciduous and coniferous trees along the entire length of the property's boundaries.
- (4) Multi-unit dwellings and their associated parking shall be screened from adjacent land uses through a combination of deciduous and coniferous trees, an opaque wooden fence or some combination thereof to the satisfaction of the Development Authority.

- (5) Notwithstanding sight triangle requirements, deciduous trees shall be planted along all public street frontages at the following rates:
- a) 1 tree per detached single family dwelling and duplex lot;
 - b) 1 tree per every two lots planned for townhouse dwellings; and
 - c) 1 tree per 15 linear metres for multi-unit sites or the side yard of a corner lot that faces a street.
- (6) Trees required under (5) shall be high leafing deciduous trees when planted within the Municipal right-of-way.

5.2 Development Staging

As indicated on the Land Use Concept, the development is anticipated to begin in the west, at the intersection of 49th Street and 55th Avenue in the area identified as Phase I. Development will progress in an easterly direction based on market demand and includes further extension of services and roadways. Approximate lot dimensions have been provided, though these could be subject to minor changes as building designs and footprints are finalized.

5.3 Redistricting and Subdivision

All of the land within plan area is currently districted as (UR) Urban Reserve District. Redistricting and subdivision of the land is intended to conform to the following:

- **R1 (Low Density Residential) District:** lands immediately northeast of 55 Avenue (across from existing detached single-family homes) and some lots associated with Phase 1 of the development.
- **R2 (General Residential) District:** any lands not indicated as manufactured homes, municipal reserve or public utility lots on the Land Use Plan (Schedule A).
- **R3 (Manufactured Home) District:** manufactured home park including both single-wide and double-wide lots.
- **P (Public Use) District:** stormwater detention pond, trail and open space.

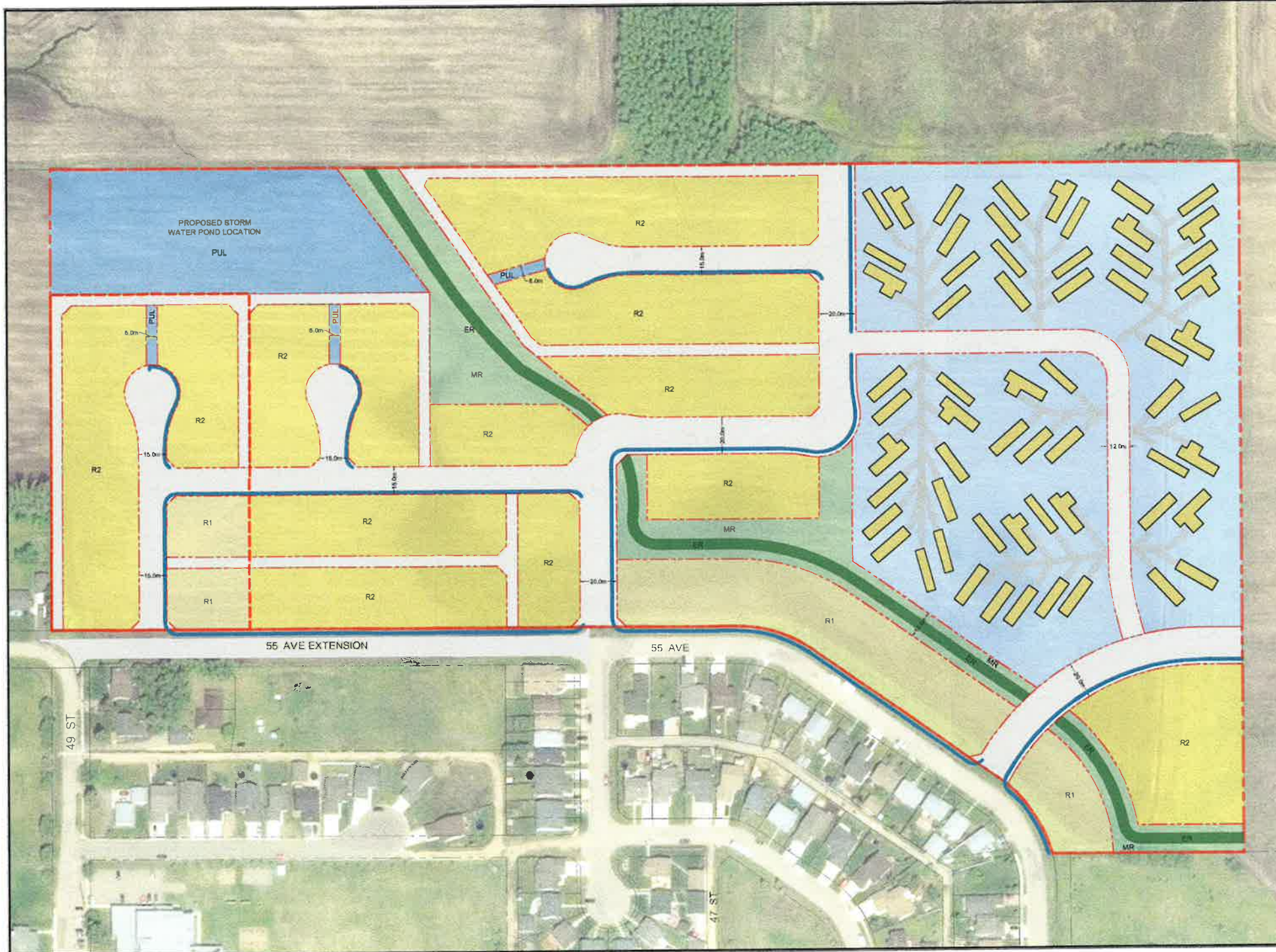
While the R2 (General Residential) District has been applied to the majority of lots, the developer and municipality may explore a new district for future phases as part of an amendment to the Land Use Bylaw.

5.4 Adopting and Amending the Area Structure Plan

Adoption and any amendment of this Area Structure Plan would be the responsibility of Council. The Summersault Residential Area Structure Plan provides a conceptual development framework for the subject site.



SCHEDULE A:
Land Use Plan



- LEGEND**
- Phase 1 Boundary
 - Proposed Lots
 - Proposed Sidewalk
 - R1 (Low Density Residential) District
 - R2 (General Residential) District
 - R3 (Manufactured Home) District
 - Municipal Reserve (MR)
 - Drainage Channel
 - Environmental Reserve (ER)
 - Public Utility (PU) Lot
 - Municipal Reserve (MR)

LAND USE SUMMARY:
 R1 AREA: 1.4 hectares
 R2 AREA: 5.8 hectares
 R3 AREA: 4.9 hectares
 PUL AREA: 1.3 hectares
 MR AREA: 1.1 hectares
 ER AREA: 0.4 hectare
 ROAD AREA: 2.9 hectares
TOTAL AREA: 17.8 hectares

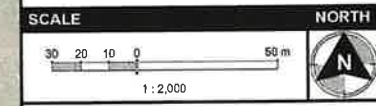
- NOTES:**
- Property lines approximate only. Site subject to survey
 - Lot dimensions based on new district proposed in Outline Plan

SOURCES:
 • Property lines from AllGIS

Designer: J. GRANT/WANG VERSION
 Planner: S.FASH **101**

LAND USE PLAN
 BENTLEY, ALBERTA

SW26 40-1-W5M
 September 8, 2014 141-16071-101

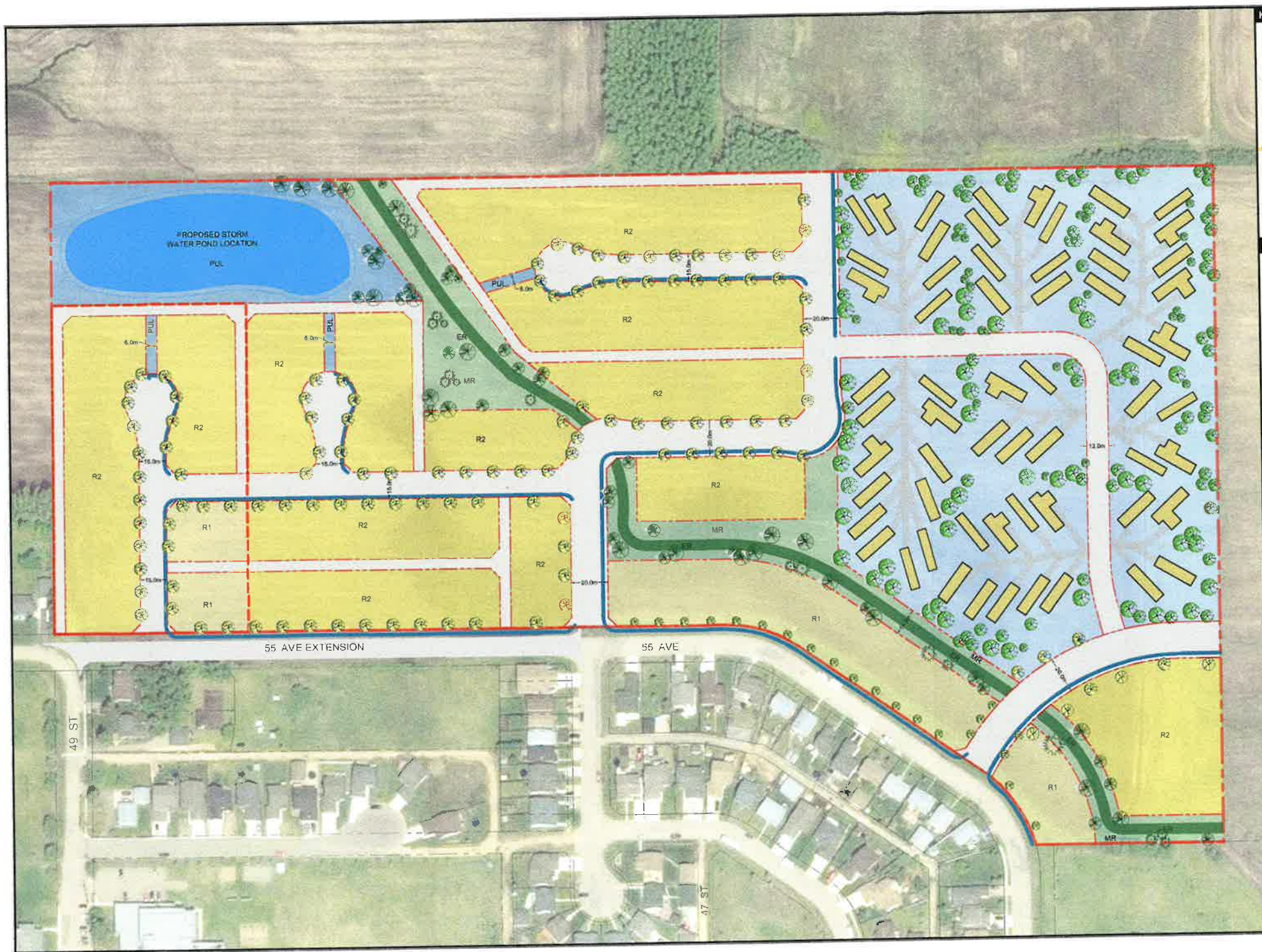


132 - 2693 BRIDLEMOOR BOULEVARD,
 SHERWOOD PARK, ALBERTA CANADA, T8H 0G1
 PHONE: 780 410-6740 - FAX: 780 449-1050 - WWW.WSPGROUP.COM

Sheet Number: FILE: S:\ALIN\0313131-20108-00 - BENTLEY TOWNSHIP CONCEPT PLAN 141-16071-101.DWG



SCHEDULE B:
Landscaping Plan



KEY PLAN

TOWN OF BENTLEY

LEGEND

- Phase 1 Boundary
- Proposed Sidewalk
- R1 (Low Density Residential) District
- R2 (General Residential) District
- R3 (Manufactured Home) District
- Municipal Reserve (MR)
- Drainage Channel- Environmental Reserve (ER)
- Public Utility (PU) Lot
- Municipal Reserve (MR)
- Deciduous Trees
- Coniferous Trees

Note - Selected trees shall be of a species capable of health growth in this region of Alberta

SITE SUMMARY:

- Land Area - 17.83 hectares
- Municipal Reserve - 1.1 ha (6.0%)
- Environmental Reserve - 0.4 ha (2%)
- Public Utility - 1.3 ha (7.3%)
- Public Roads & Lanes - 3.17 ha (16.3%)

NOTES:

- Property lines approximate only. Site subject to survey
- Lot dimensions based on new district proposed in Outline Plan

SOURCES:

- Property lines from AltaLIS

Designer: L. GRANT / A. WANG

Planner: S. FASH

VERSION
101

LANDSCAPE PLAN
BENTLEY, ALBERTA

SW26 40-1-W5M

SEPTEMBER 8, 2014 141-18071-101

SCALE **NORTH**

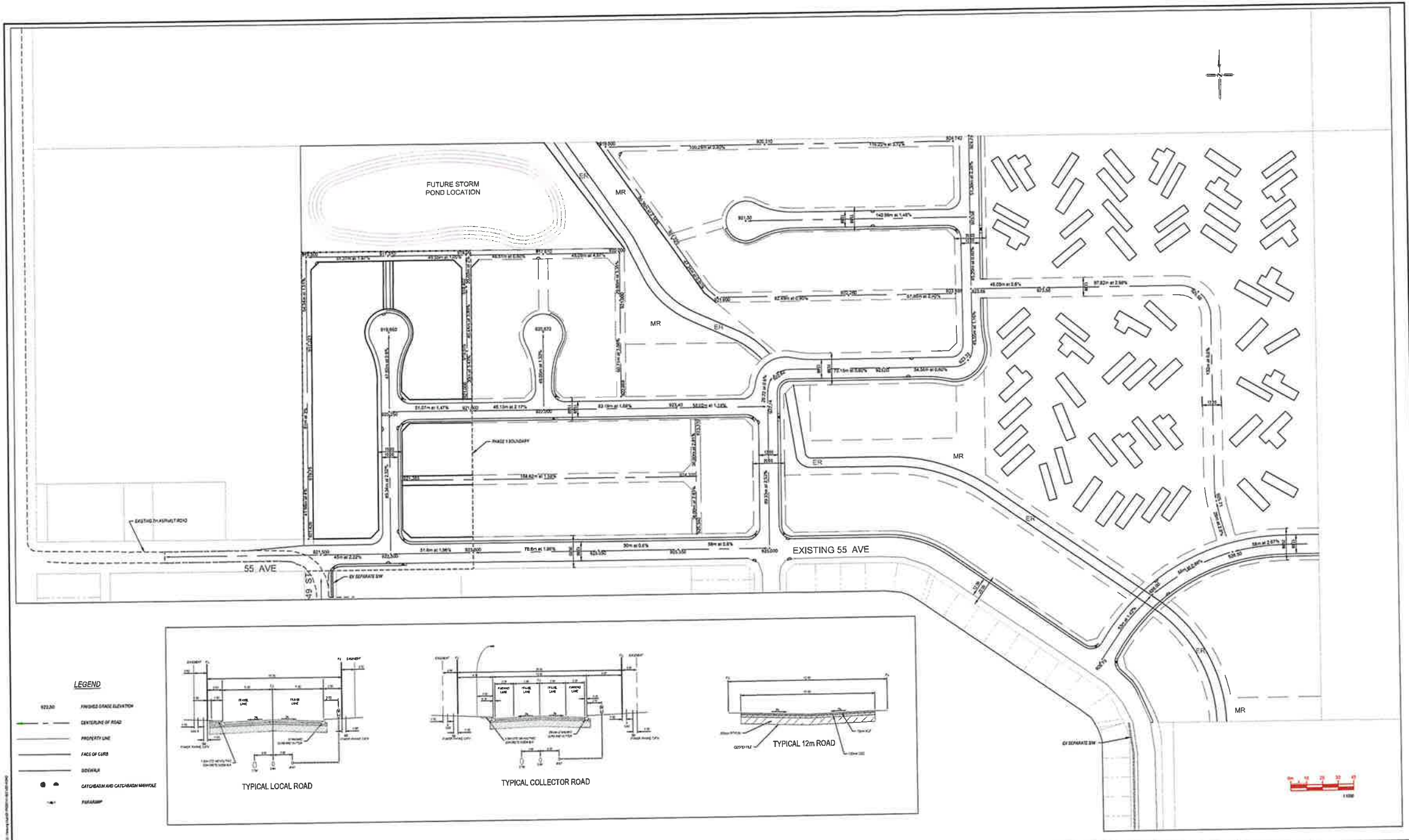
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132 - 2993 BROOKWOOD BOULEVARD
HERWOODS PARK, ALBERTA CANADA, T8H 0G1
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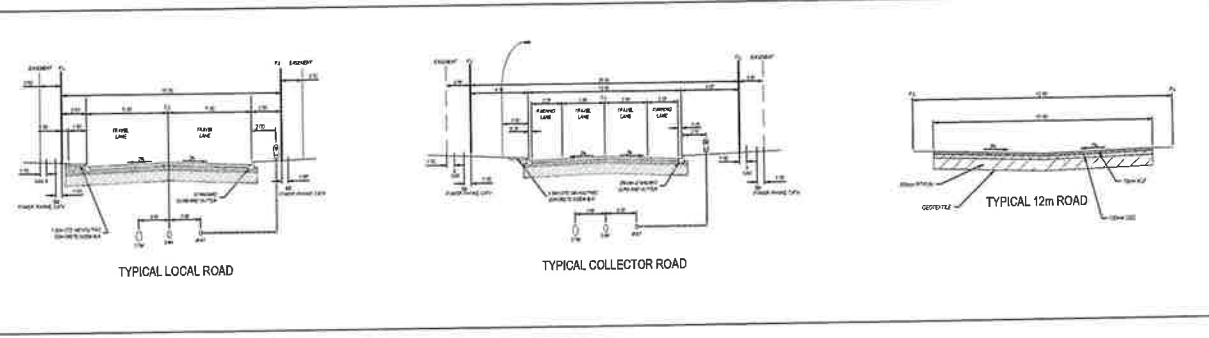
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SCHEDULE C:
Road Plan



- LEGEND**
- FINISHED GRADE ELEVATION
 - CENTERLINE OF ROAD
 - PROPERTY LINE
 - FACE OF CURB
 - SIDEWALK
 - ● CATCHBASIN AND GUTTER/RAINWAY/WHOLE
 - FURROW



NOTES:
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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2	20140515	ISSUE FOR REVIEW	AM	CS	ES

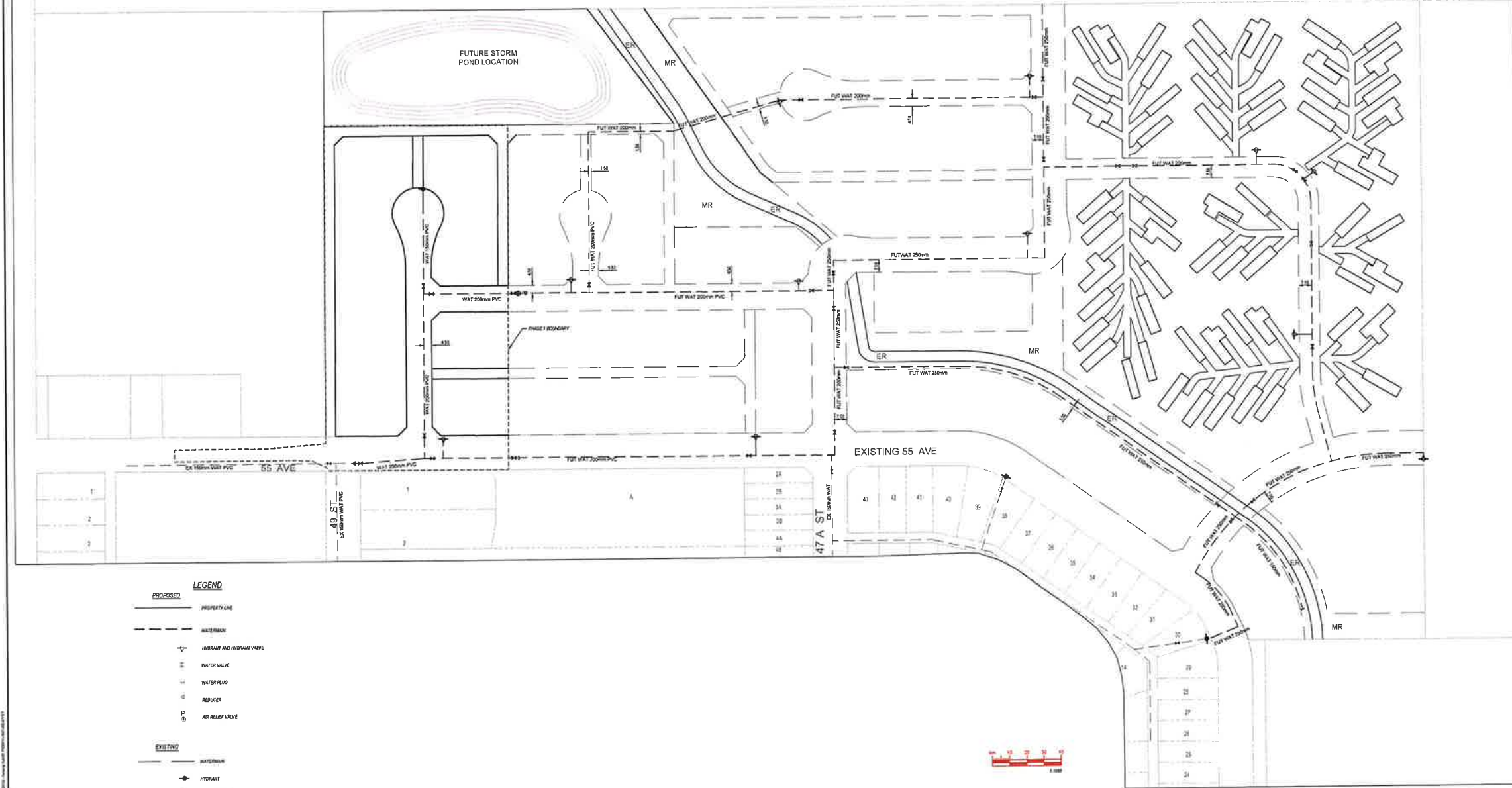
174 0247 ALBERTA LTD.



PROJECT: SUMMERSAULT SERVICING STUDY	TITLE: ROAD PLAN
PROJECT NO: 141-16071	DRAWING NO: 141-16071-00-C001
ORIGINAL SCALE: 1:500	DATE: MAY 2014
DESIGNER: C. SUDHY	DRAWN BY: A. MCNEIL
CHECKED BY: A. MCNEIL	DATE: 20140515
FOR ASP	1



SCHEDULE D:
Water Distribution System



LEGEND

PROPOSED

- PROPERTY LINE
- - - WATER MAIN
- ⊕ HYDRANT AND HYDRANT VALVE
- ⊞ WATER VALVE
- ⊞ WATER PLUG
- ⊞ REDUCER
- ⊞ AIR RELIEF VALVE

EXISTING

- - - WATER MAIN
- ⊕ HYDRANT
- ⊞ WATER VALVE

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1	20140514	ISSUE FOR RFP	AM	CM	CS
2	20140514	ISSUE FOR REVIEW	AM	CM	CS
3	20140514		AM	CM	CS
4	20140514		AM	CM	CS
5	20140514		AM	CM	CS
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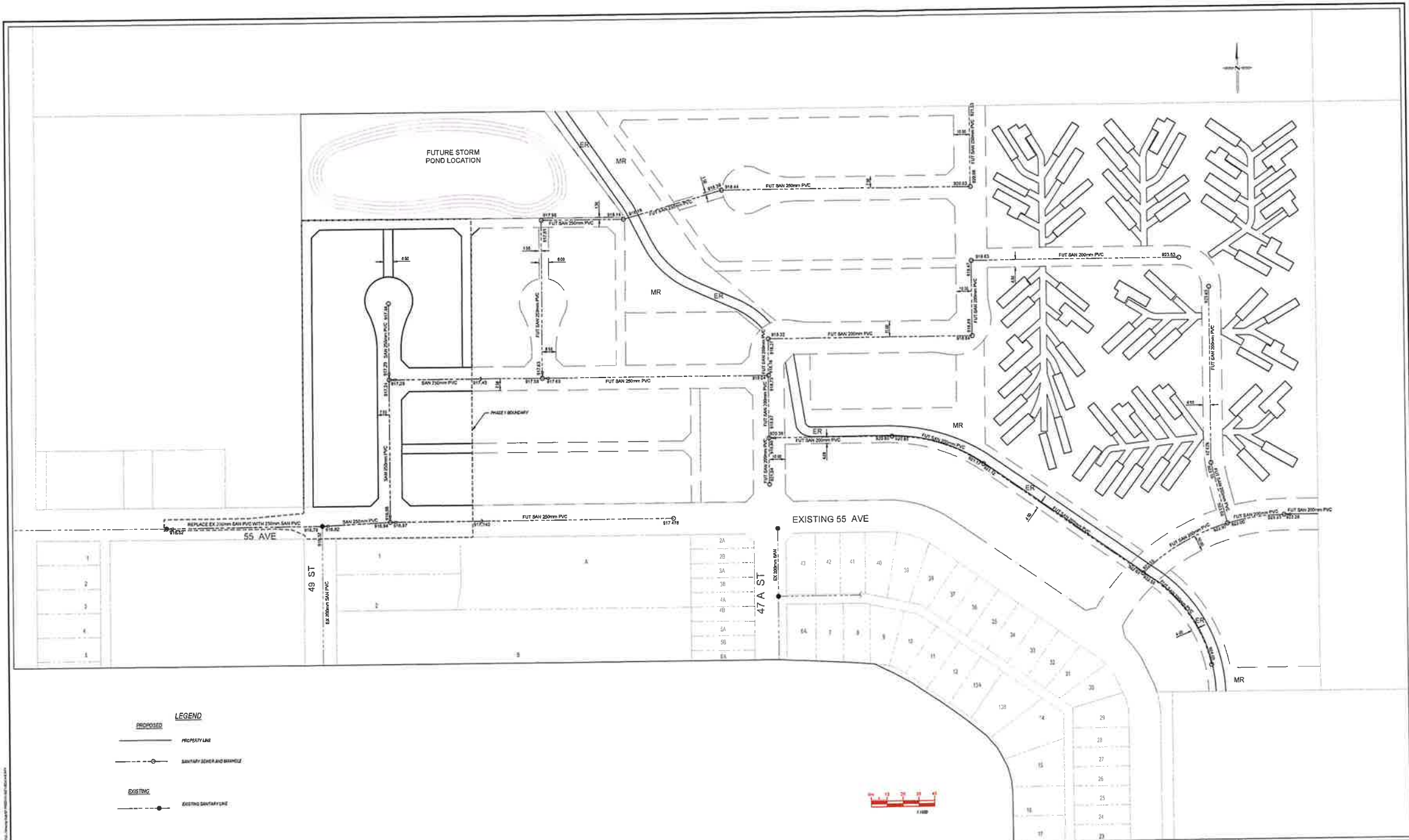
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PROJECT		DATE		DRAWING NO.		SHEET	
SUMMERSAULT SERVICING STUDY		MAY 2014		141-16071-00-C002		1 OF 1	
MUNICIPAL INFRASTRUCTURE		FOR ASP		20140515		1	



SCHEDULE E:
Sanitary Sewer System



LEGEND

	PROPOSED
	PROPERTY LINE
	MANHOLE
	EXISTING
	EXISTING SANITARY LINE

NOTES

1. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING SANITARY SEWER SYSTEM AND HAS FOUND IT TO BE IN GOOD CONDITION.
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NO.	DATE	DESCRIPTION	BY	CHKD
1	2014-05-10	ISSUE FOR RFP	AS	CS
2	2014-05-10	REVISION	AS	CS
3	2014-05-10	DESIGN	AS	CS

174 0247 ALBERTA LTD.



PROJECT: SUMMERSAULT SERVICING STUDY		USER: SANITARY SEWER PLAN	
PROJECT NO: 141-16071	DATE: MAY 2014	DRAWING NO: 141-16071-00-C003	
SCALE: 1:1000	DRAWN BY: A. MCMURTRY	CHECKED BY: FOR ASP	DATE: 2014/05/10
DESIGNED BY: C. SUDY	PROJECT: MUNICIPAL INFRASTRUCTURE	DATE: 2014/05/10	SHEET: 1



SCHEDULE F:
Stormwater System



Town of Bentley

SUNSET HEIGHTS AREA STRUCTURE PLAN

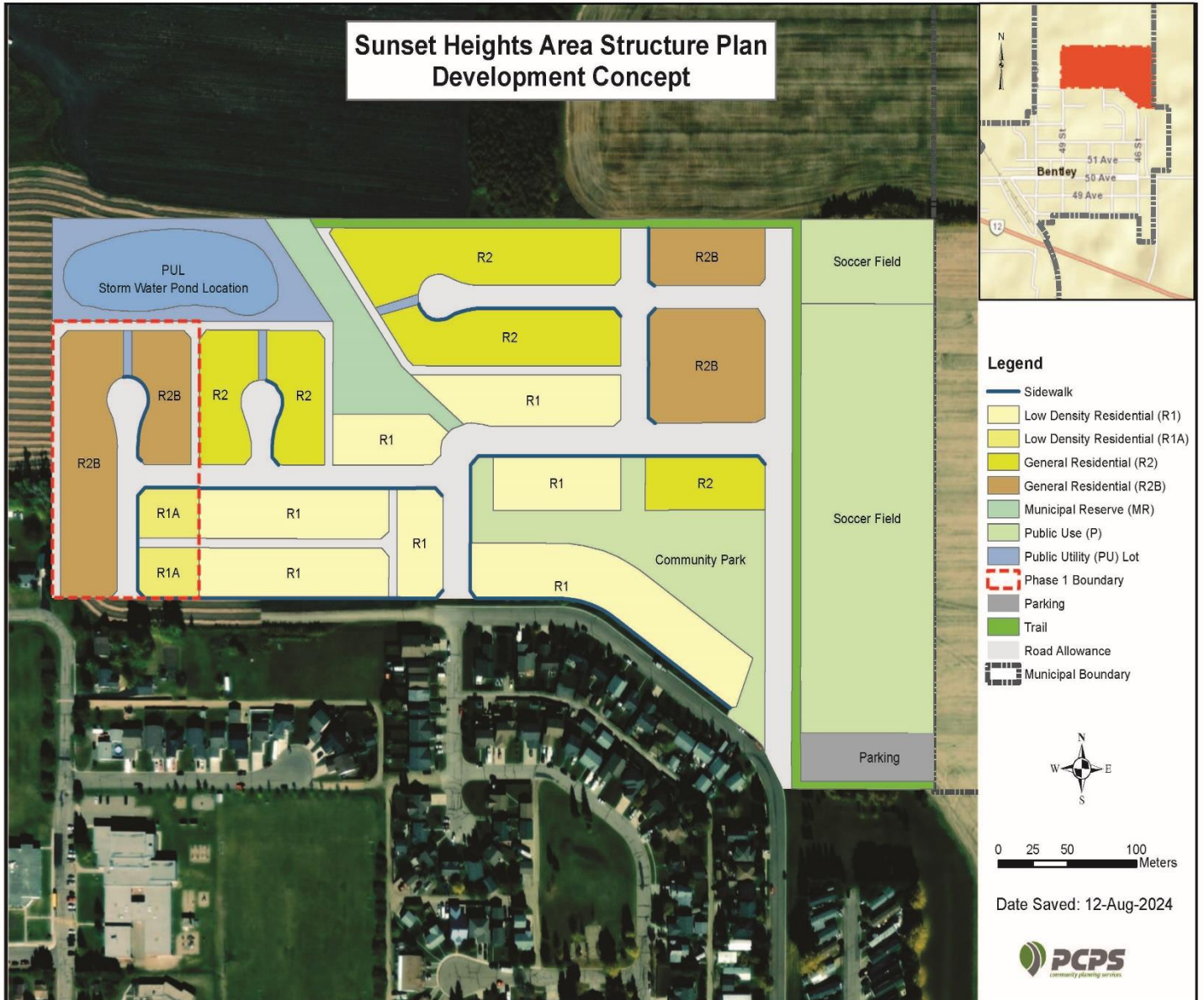


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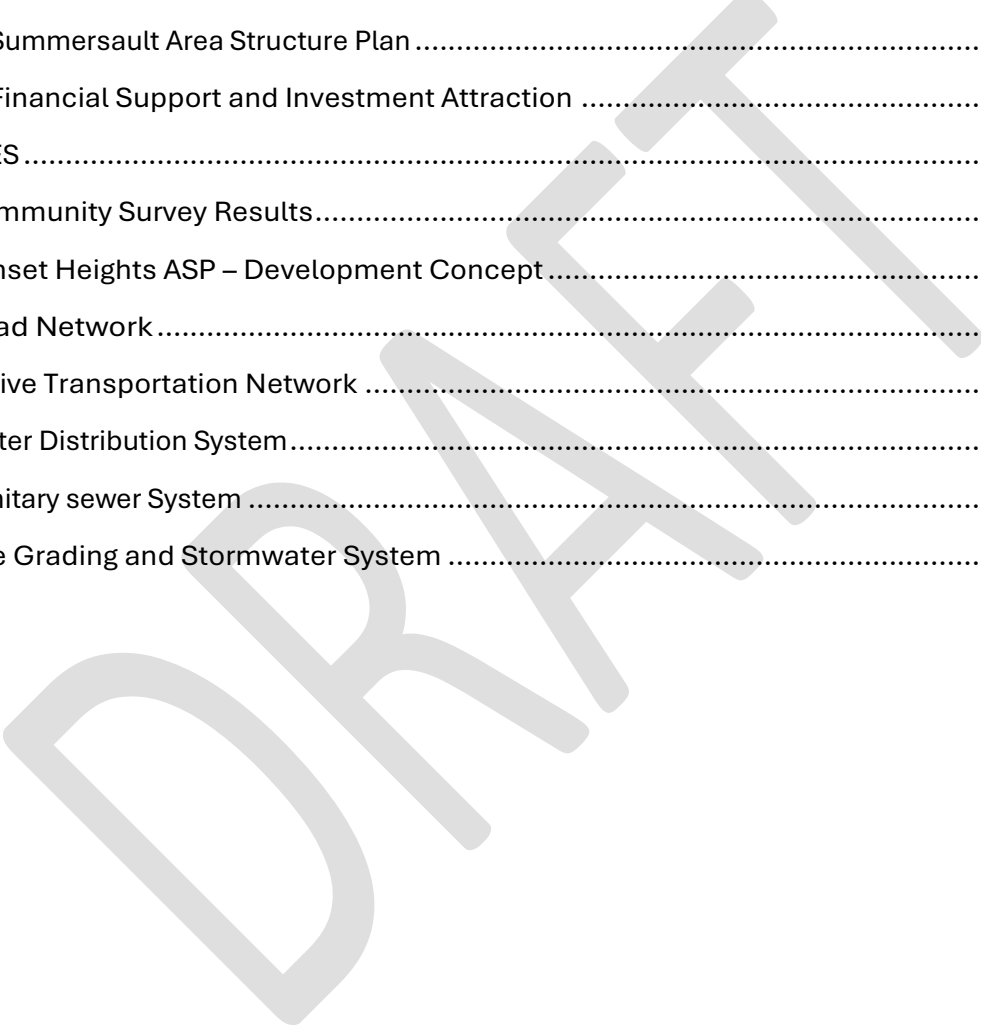
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1. INTRODUCTION

1.1 Purpose

An Area Structure Plan (ASP) is a long-term statutory planning document that outlines the overall development concept for a specific area within a municipality in Alberta. The ASP provides a comprehensive framework for land use, infrastructure, transportation, and environmental considerations, guiding future development and growth within the designated area. The ASP acts as a guide for land use decisions, development approvals, and infrastructure investments by the municipality and other stakeholders.

The Sunset Heights Area Structure Plan aims to create a framework for future subdivision, residential, and recreational development within the SW 26-40-1-W5M site. The ASP is designed to offer guidance to developers based on community preferences gathered through extensive engagement. However, the plan is flexible, and developers have the opportunity to revise or modify their proposed development configuration, with the requirement of additional community engagement and Council approval of the proposed amendments.

Structure of this Document

The document is divided into four main parts. Part I gives background information about the Area Structure Plan, providing context and history. Part II deals with Engineering and Infrastructure-related materials, focusing on Engineering Assessments and Studies, examining technical aspects such as infrastructure and environmental impact. Part III introduces the new Concept Plan that consolidates all previous information to present a comprehensive vision for future development. Lastly, Part IV details the Implementation of the plan.

1.2 Site Location and History

The subject site is located in the northeastern portion of the Town of Bentley, north of 55th Avenue and east of 49th Street. The site is approximately 17.81 ha (44.0 acres) in size and located within the Urban Reserve (UR) District. As outlined in the Land Use Bylaw, the purpose of this district is to “*reserve land for future subdivision and Development until an overall plan is prepared for and approved by Council*”.

The lands surrounding the site to the north, east and west are primarily undeveloped farmland. Lands immediately south consist of predominantly detached single-family homes within either the R1 (Low Density Residential) District or R2 (General Residential) District.

Figure 1: Site Location (shown in red)



The subject site is located within the former Northeast Area Structure Plan (Figure 2). This plan was adopted in 1993 and envisioned as a primarily low-density residential development. While it appears, some development occurred as a result of the ASP, the majority of the land remained undeveloped. In 2005 and 2006 the site was revisited with a number of environmental and engineering studies undertaken to assess the development potential of the property. This development concept (Figure 3) also envisioned a neighborhood featuring detached single-family homes; however, it did not lead to the development of the subject property.

Figure 2: Northeast Area Structure Plan Concept (1993)



Figure 3: 2005 Development Concept



1.3 Concept Plan Developed By WSP In 2014

The Summersault ASP concept plan developed in 2014 by WPS included a combination of single-family, duplex, townhouse, manufactured dwellings and apartment buildings. The goal was to provide several housing alternatives in Bentley responding to the limited housing choices had been evidenced by the 2011 Census.

The focus of the development concept was to provide a variety of residential housing alternatives integrated with a high-quality open space and trail network.

In the concept plan roads and lots were designed around the natural drainage channel that runs from the lower southeast corner of the plan area to the Northwest corner to a proposed stormwater detention pond. While not a regulated water feature, the proposed drainage channel provides a natural open space for the development. In addition to helping to manage stormwater, the drainage channel and stormwater pond were intended to be designed as public amenities and recreational space. (Figure 4).

Figure 4: 2014 Development Concept - WSP



Through collaboration with the Bentley Community and the Town’s Administration, Parkland Community Planning Services (PCPS) undertook the task of revisiting and updating the plan. This plan has undergone a transformation and is rebranded as the Sunset Heights Area Structure Plan. Prior to being implemented, this revised version of the plan must undergo a comprehensive review and approval process by Council.

DRAFT

2. TRANSPORTATION AND INFRASTRUCTURE REVIEW

2.1 Road Network

Two accesses to the subject site from 55 Avenue and one access from 46 Street, have been proposed. With the Town's collaboration, the developer will be responsible for constructing the remaining portion of 55 Avenue between 49 Street and 47A Street. Road reserves are provided to the lands immediately north and east. Sidewalks have proposed along one side of the street and connect with the proposed trail network. The width and design of roadways in the development are based on consultation with Town Administration. Details surrounding the proposed roadway design are outlined in [Schedule B](#).

2.2 Active Transportation Network

An active transportation network with a capacity of natural walking trail, bike path will be incorporated along the open spaces and the proposed soccer field. It will provide a natural amenity feature and improved pedestrian and bikers connectivity within the development. The stormwater detention pond was intended to be a landscaped dry pond, designed to serve as an amenity and recreation feature for residents in addition to its stormwater management functions. Details surrounding the proposed open space and landscaping are outlined in [Schedule C](#).

Currently, additional construction is taking place in the first phase of the subdivision. The plan is to hydroseed the pond area and include a trail around the perimeter as part of the development.

With the Town's collaboration, building the trail network and landscaping will be the responsibility of the developer with specifics surrounding the design being finalized at the detailed design stage of future phases.

2.3 Open Space and Stormwater Detention Pond

A stormwater detention pond has been built on the northwest corner of the site as designated for. This is consistent with previous development concepts, engineering assessments and is based upon the natural topography and seasonal drainage channel found on the site. The seasonal drainage channel is not a regulated watercourse, so it does not require designation as Environmental Reserve. However, in addition to its benefits from a stormwater management perspective, the seasonal drainage channel and stormwater pond present the opportunity for an open space/park corridor extending from the southeast corner of the site to the northwest corner.

2.4 Site Servicing

WSP Group was retained to prepare a Watermain Analysis and Stormwater Management Plan to confirm the serviceability of the existing development relative to the Town's existing infrastructure.

WSP Group prepared a Preliminary Servicing Study in 2014 for the Summersault ASP to determine the serviceability of the proposed development relative to the Town's existing infrastructure. The following subsections outline the findings of this study.

2.4.1 Existing Conditions

The site is primarily rolling agricultural land. A seasonal watercourse meanders west from the southeast corner to the northwest corner of the site. Sanitary and water mains currently exist along 55 Ave.

2.4.2 Water Distribution System

The proposed water distribution system involves three connections to the existing water main in 55 Avenue and will include two stubs to allow for the future servicing of properties to the north and east. The watermain sizes will be 200mm, other than fire hydrant leads and dead-end lines. There is a 250mm line provided to the north as identified in the North Bentley Development Study prepared by GM Will Consulting Limited. Modelling of the system will be completed as part of an outline plan to confirm sizing provided. Further details surrounding the proposed water distribution system can be found in [Schedule D](#).

2.4.3 Sanitary Sewer System

The proposed sanitary sewer system will be connected to the existing municipal sewer system to provide proper waste disposal for the development. As per the North Bentley Development Study prepared by GM Will Consulting Limited, the 250mm main pipe will ensure that all properties within the development have access to sewer services.

In the interim, a temporary on-site septic system may be utilized for the proposed soccer field until the sanitary network is extended to the east and northeast of the site. This temporary solution will ensure that waste can be properly managed until the permanent sewer system is in place.

Overall, the proposed sanitary sewer system will provide efficient and effective waste disposal for the development, ensuring the health and safety of residents and the surrounding environment. The proposed sanitary sewer system is outlined in [Schedule E](#).

2.4.4 Site Grading and Stormwater System

Road grades and surface drainage are designed to follow the natural land topography where

practical. The general overland water flow is from the southeast to the northwest.

The stormwater drainage system is based upon the Dual Drainage Concept with minor and major systems. The overall stormwater concept is provided in [Schedule F](#).

A previously prepared stormwater report by Stantec in April 2006 is still relevant today. The major changes are that predevelopment rates have gone down over the years and the predevelopment rate Stantec used of 13.6 litres per second per hectare (l/s/ha) is on the high side. Based on a rate of 5 l/s/ha, the pond size would change requiring approximately 8,700 m³ in area versus the 5,500 m³ that Stantec had indicated. The pond area provided in the previously approved Outline Plan has been reviewed and determined it is adequate for the increased storage volume. Modelling of the system was completed by WSP as part of the Summersault Area Structure Plan to confirm the pond size.

The stormwater management facility is a dry pond designed as a landscaped feature. All inlets to the facilities will have sedimentation forebays designed to Alberta Environment Guidelines to remove suspended sediment.

2.4.5 Erosion and Sediment Control

During construction, silt fencing should be installed around the site, where feasible, to mitigate off-site flow of soil. Additionally, all stockpiled material should have silt fence installed at the toe of the pile.

The current storm pond installed around the perimeters, along with the matured landscaped vegetation inside the ponds, enhances the functionality to effectively reduce sediment pollution.

2.4.6 Traffic Impact Assessment (2014)

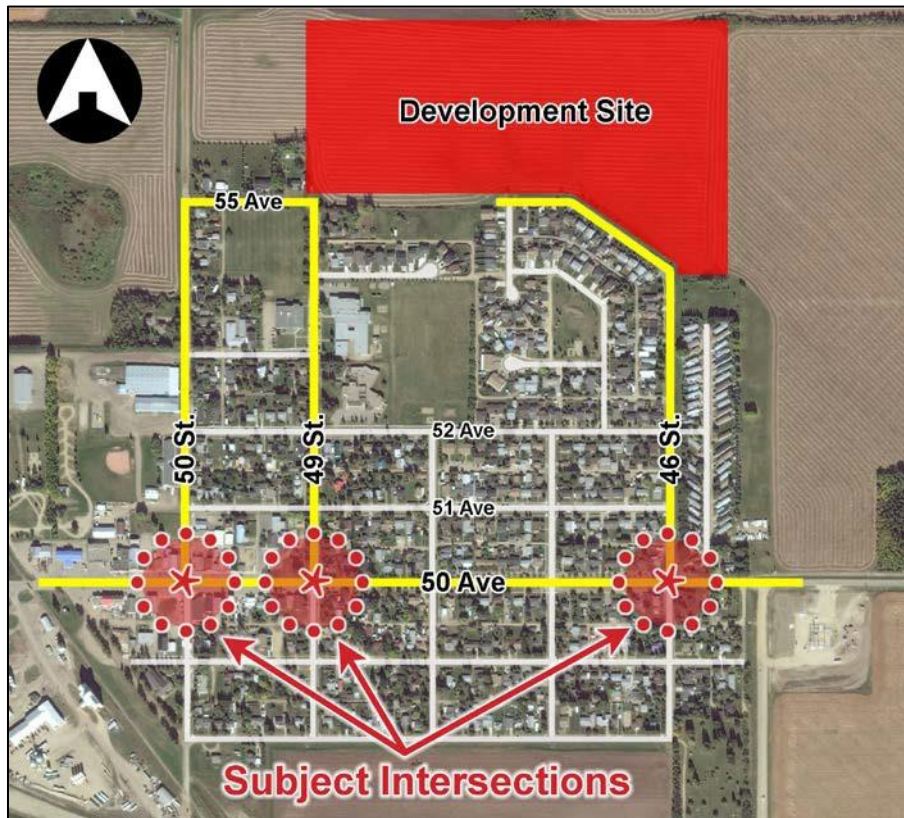
WSP Canada Inc. prepared a Traffic Impact Assessment (TIA) for the proposed development which has also been provided to the Town. A TIA is an unbiased assessment, prepared by a professional Engineer in 2014, that evaluated existing traffic conditions and infrastructure against the impact of the proposed development. Existing traffic conditions were determined through assessing existing traffic turning movements (obtained from Alberta Transportation or manual counts) and the geometric standards of existing transportation infrastructure and intersections. This study determined the existing network's functionality or level of service.

The existing level of service is then compared against the anticipated level of service once a proposed development is fully built-out and is based on anticipated future traffic growth and vehicle trips generated by a development during peak periods. This includes forecasting traffic volumes into the 20-year horizon. Depending on the outcomes of the modelling and assessment, upgrades to existing infrastructure and/or intersections may be required in order to maintain an acceptable level of service throughout the traffic network.

For the purposes of the proposed development, the TIA included assessments of three intersections: 50th Avenue / 50th Street, 50th Avenue / 49th Street and 50th Avenue / 46th Street 9

as shown in Figure 5.

Figure 5: Intersections Assessed in TIA



The following provides a summary of the findings from the TIA:

50th Avenue / 50th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20-year horizon.
- While not required as part of Phase 1, an exclusive eastbound left turn lane for vehicles turning left (north) from 50th Avenue onto 50th Street will be necessary at full build out of the development.
- Though not necessarily based on current projections, best practices indicate the Town consider the addition of an exclusive westbound left turn lane for vehicles turning left (south) from 50th Avenue onto 50th Street.
- Traffic signals are not necessary at the intersection.
- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.
- The existing geometry of the intersection should allow for all of the above-noted changes and should be incorporated into the Town's streetscape improvement

program.

50th Avenue / 49th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20-year horizon.
- While not required as part of Phase 1, an exclusive eastbound left turn lane for vehicles turning left (north) from 50th Avenue onto 49th Street will be necessary at full build out of the development. However, given the width of the existing eastbound lane at this intersection, adequate maneuvering space is available for vehicles to travel around vehicles waiting to make this left turn. Based on this, no geometric improvements to the intersection are required as a result of the proposed development, though the Town may consider adding lane markings for clarity.
- On-street parking in the vicinity of the 50th Avenue / 49th Street intersection is recommended to be limited during AM and PM peaks.
- Traffic signals are not necessary at the intersection.
- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.

50th Avenue / 46th Street Intersection

- All traffic movements during AM and PM peak periods at this intersection will operate at an acceptable level of service at the development's full build-out and will be capable of accommodating the forecasted traffic up to the 20-year horizon.
- A westbound right turn lane for vehicles turning right (north) from 50th Avenue onto 46th Street, though technically warranted, is not recommended. This is due to the low posted speed limit (50 km/h) and road right-of-way constraints.
- Traffic signals are not necessary at the intersection.
- It is recommended that the Town install and/or maintain appropriate pedestrian crosswalk pavement markings and signage at this location.

2.4.7 Geotechnical Investigation:

Proposed Bentley Residential Subdivision (2005)

A Geotechnical Investigation was conducted in 2005 to determine the nature and engineering properties of the site soils with regards to grading, the design of underground services, building foundations, and roadway subgrades. The investigation involved drilling eight 8 boreholes, each 6.7 metres deep, to examine soil profiles. The following soil types, in descending order, were identified:

- topsoil;
- lacustrine soils;

- till (0.3 to 1 metre below grade);
- weathered bedrock (1.8 to 4.8 metres below grade); and
- layers (approximately 1 metre thick) of dense coal were also identified in three of the eight boreholes.

According to the 2005 investigation, subsurface conditions are considered to be suitable for residential development. The most significant geotechnical issue is expected to be the presence of shallow bedrock which may impact underground service trench excavation. It is expected that buried services will be installed to depths of approximately 4 metres.

Notwithstanding this potential impact, site grading, building foundations and roadway design should follow generally accepted fill, soil and foundation engineering practices. In order to achieve the required grading on-site an approved fill, such as low to medium plastic clay, may be used. If coarse gravel is proposed, a maximum aggregate size of 100mm is recommended. Soil samples also determined that water soluble sulphates pose negligible threats to buried concrete and subgrade infrastructures.

The subject site has not been disturbed, outside of its ongoing agricultural use, since the time of this study so it is anticipated that the findings of this Geotechnical Investigation are still valid and applicable to the property.

2.4.8 Bentley North Subdivision:

Phase 1 Environmental Site Assessment (2006)

A Phase 1 Environmental Site Assessment (ESA) was commissioned to identify potential environmental items that may require further site investigation or other action. The 2006 ESA concluded that the level of environmental risk associated with the subject site was low. Based on available information at the time, additional site investigation was not recommended. A secondary search of the Abacus Data graphics (AbaData) online database in June 2014 did not reveal the presence of any spills or oil and gas facilities on the subject property.

3. THE DEVELOPMENT CONCEPT PLAN

To properly revise the Summersault Area Structure Plan (ASP) developed by WSP in 2014, it is crucial to understand the governing documents and existing land use policies. Additionally, reviewing past technical documents is essential for assessing the development's feasibility and identifying any design-related issues that may need to be addressed.

Accordingly, the new Sunset Heights ASP must conform to the policies outlined in the Town's most recent Municipal Development Plan adopted in 2016 and the Town's Community Strategic Plan adopted in 2024 and previous strategic plans and policies. Evidently, the Town may repeal the current Summersault ASP as part of the approvals process for the proposed ASP.

The following sections highlights relevant findings from existing policy documents and past studies, providing a comprehensive foundation for revisiting the ASP.

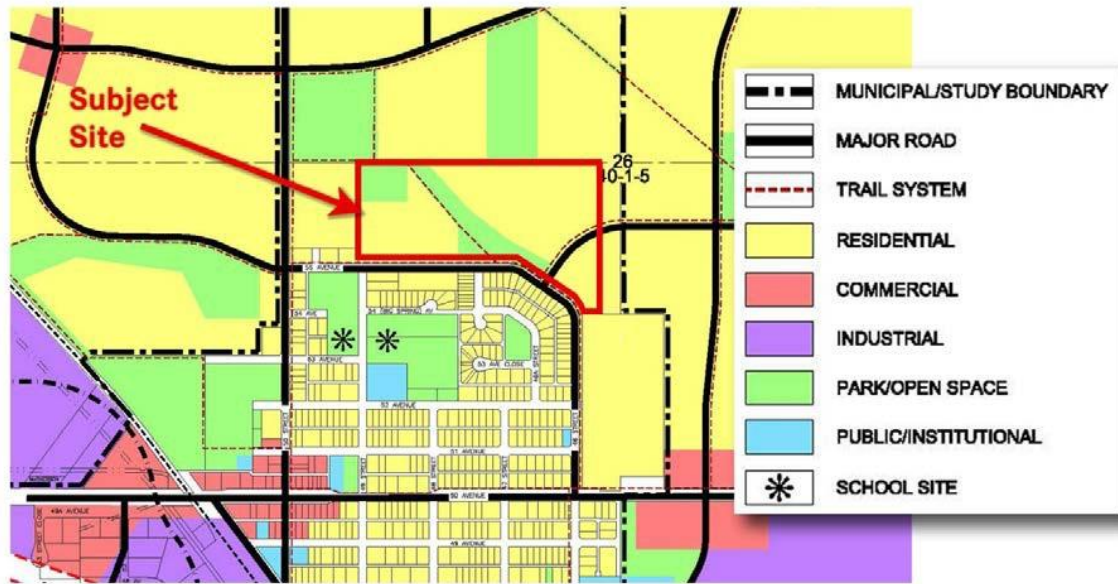
3.1 Planning and Land Use Policies

A Municipal Development Plan (MDP) establishes policies to manage growth across an entire municipality, while identifying the location of residential, commercial and industrial areas, environmentally sensitive areas, parks and major utility expansions.

The Town of Bentley MDP addresses a variety of municipal planning issues and objectives, particularly as they relate to future land uses and residential growth areas. To this point, a primary residential objective is to “ensure a variety of housing types to meet the community lifestyles and market requirements”, which is consistent with the development concept.

The subject site is located within an area identified for ‘Residential’ development. Additionally, ‘Park/Open Space’ has been identified in the areas as generally depicted on the development concept. The MDP also indicates building two roads from 55 Avenue and from 46 Street are planned to provide connectivity to the east and north portions of the town. This has also been accounted for in the development concept. Figure 6 highlights the subject site relative to the MDP.

Figure 6: Town of Bentley MDP Land Use Concept



3.1.1 MDP 2016 Review

Section 9 – RECREATION AND OPEN SPACE

9.2 Policies

1. *The Town shall provide developed and natural settings for recreation including facilities, parklands, open space areas and trails and recreational facilities to meet the needs of a growing community.*
 - The development of a new soccer field directly supports the Town’s commitment to providing developed recreational facilities to meet the needs of a growing community.
2. *The Town shall establish long-term priorities for the recreational needs of the residents and shall solicit public input from Town residents with regards to parks and recreational area planning and development.*
 - Establishing a new soccer field aligns with long-term recreational priorities and demonstrates responsiveness to community demands for diverse recreational options.
3. *The Town encourages a range of recreational uses. A balance of indoor and outdoor experiences shall be explored to ensure recreational facilities achieve optimum usage and are accessible by Town and district residents for year-round recreational pursuits.*
 - The soccer field adds to the range of outdoor recreational options, promoting balanced usage of both indoor and outdoor facilities.
4. *In new residential subdivisions the provision and development of buffer strips, walkways, pathways and utility rights-of-way will be encouraged to separate incompatible land uses and, if possible, to keep important natural and nature-like areas generally intact.*
 - The integration of buffer strips, walkways, and pathways in new subdivisions complements the development of the soccer field by enhancing accessibility and preserving natural areas.

KEY MESSAGE

The existing recreational policies in the Municipal Development Plan strongly support the creation of a new soccer field in the community. These policies emphasize the provision of diverse recreational facilities to meet the needs of a growing population, the importance of long-term planning with public input, and the encouragement of both indoor and outdoor recreational activities to ensure year-round usage.

Additionally, the policies advocate for the central and safe siting of recreational facilities within residential neighborhoods, and the integration of buffer strips and pathways to enhance accessibility and preserve natural areas. Establishing a new soccer field aligns perfectly with these policies, providing a valuable outdoor recreational option that responds to the interests of residents, promotes active lifestyles, and enhances the overall recreational infrastructure of the community.

Section 12. RESIDENTIAL DEVELOPMENT

Bentley offers a mix of housing types and ownership although single family housing is the

predominant form. There is an increase in the mix of housing types to support the needs, income levels and preferences of current and future residents in infill opportunities and as identified in the Area Structure Plan Area.

12.2 Policies

Policy 3: The Town will encourage a diversity of housing and subdivisions in new residential areas. This will facilitate infill development, by allowing for higher density residential developments. Modular homes are welcomed and treated as a type of Single-Family residential dwelling.

- While the policy welcomes modular homes to diversify housing, currently there is no demand for modular and mobile homes. Therefore, the focus of the ASP should shift towards incorporating recreational facilities, such as a soccer field, within the residential districts and new subdivisions. This approach would also contribute to the overall goal of creating diverse and vibrant residential areas by enhancing recreational opportunities.

Policy 4: New residential areas should be developed and integrated with existing development in a manner that facilitates linkages to community facilities, efficient servicing, and adherence to appropriate development standards. Residential areas shall be buffered from highways, railways, industrial and commercial areas.

- Integrating new residential districts with community facilities is crucial. The proposed residential development in the ASP area must be integrated with neighbouring housing development, and the proposed soccer field should be strategically placed within the new residential developments to ensure easy access and integration with existing community facilities. This will enhance the recreational infrastructure and aligns with the policy of efficient servicing and appropriate development standards.

Policy 10: Non-residential development will not be allowed in residential areas except for developments that accommodate municipal services and community uses which are compatible with the residential area. This includes parks, recreational and institutional uses, places of worship, childcare facilities, seniors housing and nursing homes.

- The new soccer field qualifies as a compatible community use within residential areas, similar to parks and recreational facilities mentioned in the policy. Prioritizing the soccer field development aligns with this policy, ensuring that non-residential developments enhance community living without disrupting the residential character of the area.

Policy 12: Parks, open spaces, and linkages shall be provided to integrate and connect new subdivisions with the Town's trail system through the use of municipal and environmental reserve and public utility lots.

- The new soccer field should be part of an integrated network of parks, open spaces, and trails, connecting new subdivisions with the Town's existing trail system. Utilizing municipal and environmental reserves for the soccer field will promote connectivity, active lifestyles, and a cohesive community structure, in line with this policy.

Residential Density in the MDP

The Municipal Development Plan mandates specific density of future residential developments within the town:

Policy 13: The overall residential density of the Town should not exceed 15 dwelling units per gross developable hectare (6 dwelling units per gross developable acre).

Policy 14: For developing neighbourhoods, the proportion of single family detached dwelling units should be a minimum of 70 percent of total potential dwelling units. Duplexes may contribute up to 10 percent, while triplex, fourplex, townhouses, other multi-unit dwellings, apartments, and modular home units should not exceed 20 percent of total potential dwelling units.

Policy 15: Multiple housing sites (i.e. townhouse, apartment, multi-unit dwellings) may be accommodated within a neighbourhood in a number of suitable locations, which may contain one or more compatible developments provided each location does not exceed 1.75 hectares (4.32 acres). Exceptions include:

- (a) when there are special site characteristics or design features that reasonably accommodate larger sites characteristic of the neighbourhood and surrounding land uses.
- (b) except for apartments, densities on multiple unit dwelling sites should not exceed 30 units per net hectare (12 units per acre).
- The proposed development concept largely complies with the prescribed density requirements stated in the MDP. Nonetheless, the precise density will be determined during the development phase. If a future residential development proposal exceeds the density required in the MDP, amendments to the MDP and/or ASP must be made before approval of the proposal.

In summary, the proposed ASP must be in conformance with the policies and mapping established in the MDP. The proposed development should represent a rational extension of residential land uses and municipal services, and the Town's residential growth objectives.

3.1.2 Community Strategic Plan 2024 - 2028

Bentley new Community Strategic Plan was completed in Summer 2024. The establishment of a new soccer field in the Town of Bentley plays a central role in realizing the goals outlined in the Community Strategic Plan, particularly Goal 3: Develop Recreational Facilities for Youth.

Goal 3: Develop Recreational Facilities for Youth

This goal aims to provide a variety of recreational facilities and programs that meet the needs of young people, fostering a sense of belonging, promoting physical activity, and encouraging positive social interactions. It involves both physical infrastructure and collaborative programs with schools and other youth-oriented groups.

Objective 3.1: Expand Recreational Opportunities for Youth

To meet the recreational needs of youth, Town of Bentley intends to create a Recreation Master Plan, which serves as a roadmap for identifying and developing facilities. Developing a new soccer field

represents a tangible step toward this goal. Additionally, diversifying existing recreational facilities with new programs and features will ensure a wide range of activities for youth engagement.

Priority Action 3.1.2: Develop a New Soccer Field

- *A new soccer field will cater to youth and the broader community, providing a space for organized sports and recreational activities. It signifies a commitment to youth engagement and community wellness.*

This proposal not only addresses the critical need for increased recreational opportunities but also aligns with the Town's broader objective of expanding and diversifying youth engagement programs.

A dedicated soccer field will serve as a practical hub for organized sports, fostering physical activity, teamwork, and healthy lifestyles among young residents. It will also provide a communal space for various recreational activities, reinforcing our commitment to community wellness and cohesion.

By investing in this infrastructure, Bentley demonstrates a proactive approach to youth development, ensuring that the young population has access to high-quality facilities that encourage positive social interactions and a strong sense of belonging. Furthermore, the proposed soccer field will act as a catalyst for collaborative programs with schools and youth organizations, enhancing the overall recreational landscape of Bentley and creating a vibrant, inclusive environment for all community members.

3.1.3 Northeast Area Structure Plan (1993)

The Sunset Heights ASP site is located within the former Northeast Area Structure Plan (NEASP) area. The NEASP was prepared in order to establish a development concept, planning policies and implementation strategy for the subject site and immediate surrounding area. The intent of the Plan was to provide guidance on the following development considerations:

- **Transportation:** the main objective of the NEASP was to extend 46th Street and 55th Avenue into the subject site. A series of local roads, including laneways designed for residential purposes, would service the remaining lands.
- **Service and Utilities:** Prior studies indicated that the NEASP could accommodate 580 persons. A lift station would likely be required to service sewage disposal, and a storm water retention pond was proposed to service stormwater by gravity flow.
- **Future Land Uses:** The NEASP identified this area for major future residential growth consisting of a variety of housing types and densities. The envisioned plan was to foster the logical extension of existing residential areas into the NEASP. Specifically, it was projected that the subject site currently under consideration could accommodate 170 lots (500 persons).

The proposed development concept in the Sunset Heights ASP largely aligns with the above-mentioned criteria. However, the creation of a new soccer field on the site, in an area previously designated for mobile homes, represents a significant addition to the ASP, marking a departure from previous plans.

Further, the inclusion of alternative housing forms with diverse densities on the site deviates from the Summersault ASP 2014.

3.1.4 Parks and Open Space Plan (2008)

Another previous plan reviewed was Parks and Open Space Plan developed in 2008. According to the *Parks and Open Space Plan (2008)*, the most significant open space land base encompasses the northern sections of the Town. These lands are currently designated ‘Urban Reserve’ in the Land Use Bylaw and intended for future development. How these lands are developed with respect to parks and open space should be considered in the development of this Area Structure Plan.

The proposed development’s open space will contribute to the Town’s ‘Neighbourhood Park’ and ‘Open Space Areas’ system. These are defined as “*open areas designed primarily for passive and active, non-organized recreational activities*”. The proposed park and open areas are intended to serve residents of the immediate neighbourhood, while simultaneously linking the development to adjacent lands.

The following *Parks and Open Space Plan* goals and objectives highlight select considerations as they apply to the proposed development’s ‘Neighbourhood Parks’ and ‘Open Space Areas’:

Neighbourhood Parks

Objective 1.2: Park Service Areas

“Residential neighbourhoods should be served by a developed park located within approximately 400-metres.”

- The proposed park corridor spans the entire length of the proposed development and is located well within the 400-metre radius. This corridor will provide for active linkages and leisure opportunities for area residents.

Objective 1.3: Land Dedications

“Developers of residential neighbourhoods shall be required to contribute to park sites...”

- As outlined in Table 2 (Policy 9.3.4), the proposed development dedicates approximately 1.42 ha (8.0%) of land as municipal reserve (MR). These lands create a linear park system linking the entire development. In addition, the public utility lot (PUL), is intended for a dry landscaped stormwater detention pond, contributes an additional 1.20 ha (6.7%) of reserve land which could be designed as a dual stormwater management pond and park/open space. Depending on the determination of Council, any outstanding MR dedication would be paid cash-in-lieu.

Objective 3.1: Co-Location Opportunities

“Explore the feasibility to locate parks within storm water detention facilities provided sufficient park space can be provided.”

- The proposed park corridor functions as a stormwater management and drainage system, culminating with a dry landscaped storm water detention pond in the northwest corner of the proposed development.

Open Space Areas

Objective 1.1: Network Concept

“Combine natural areas into a connected system that preserves environmentally sensitive lands, provides wildlife habitat, and creates a sense of openness throughout the community.”

- The proposed park corridor spans the entire length of the proposed development and will be fully landscaped with both natural and planned vegetation.

Objective 1.3: Recreation Opportunities

“Explore opportunities to incorporate compatible recreation and trail uses within open space areas.”

- Given the dual function as a drainage channel, as well as size and configuration limitations, the proposed open areas do not provide sufficient space for supervised parks such as soccer fields or baseball diamonds. However, passive and active recreation activities are being proposed such as a trail system, and open areas suitable for leisure outdoor activities.

A primary intention of this ASP is to continue providing high-quality residential neighbourhoods in the Town. Providing parks and open spaces would, therefore, be an essential component of this development concept and important to the overall marketability of the development. It is understood that upon submission of a concept plan for the area, a new Parks and Open Space plan may be developed in accordance with the objectives and guidelines established in the *Parks and Open Space Plan* developed in 2008.

3.1.5 Land Supply and Future Growth Assessment

In an optimal situation, Bentley is projected to experience consistent residential expansion over the next 25 years, with a maximum annual growth rate of 1.0%. This growth trend will lead to an increase in population and create opportunities for future development in the town. As a result, it is crucial for the Town to carefully manage the municipal land supply to accommodate this anticipated growth and ensure sustainable development in Bentley. By effectively planning and allocating land resources, the town can capitalize on these growth opportunities and create a vibrant and prosperous community for its residents.

Table 3: Projected Population (Based on 1.0% Annual Increase)				
Year	Total Population	Change Rate	Assumed Average Household Size	Number of New Dwellings Demand
2016	1,078		2.4	
2021	1,032	-4%	2.3	-
2022	1,037	0.48%	2.3	3
2030	1,122	1%	2.3	37

2040	1,240	1%	2.3	52
2050	1,370	1%	2.3	57

Residential land supply will, therefore, need to respond to anticipated population growth and demand for housing. Based on the land supply and future growth assessment results, there is adequate residential land supply to accommodate development up to and well beyond 2050. The table below highlights the results.

Table 4: Residential Land Projections				
<i>Year</i>	<i>Total Population growth</i>	<i>Projected Demand (unit)</i>	<i>Overall Land Demand (acre)</i>	<i>Overall land Supply (acre)</i>
2050	333	145	24	27

Accordingly, the proposed development will satisfy anticipated growth potential and trends for the next 30 years.

3.2 Land Use

A land use bylaw designates various districts in a municipality which outline specific regulations regarding what uses are permitted on a site and guides where and how development will occur on individual parcels.

Through revisiting the current land use and in order to incorporate a new soccer field in the proposed concept plan it is necessary to assess the current and proposed land use designations in the plan area.

Incorporating various types of housing development, including single-family detached homes, semi-detached homes, row houses, and multi-unit apartments, in this plan area aligns with the desires of the community for diverse housing options. This mix of housing types responds to the varying needs and preferences of residents, accommodating different household sizes, lifestyles, and income levels that can contribute to a vibrant and sustainable community

The second major land use designation in the plan area is Public Park and Open Spaces.

Incorporating public parks and open spaces in the plan area serves as an essential component of this plan enhancing quality of life for residents. Public parks offer a range of benefits and amenities that respond to various recreational needs of the community.

The incorporation of a soccer field within a public park aligns with the popularity of this land use for sports and physical activities. The most popular land use for a soccer field is typically a public park or

recreational area. These spaces are commonly designated for various outdoor activities and sports facilities, providing a central location that is easily accessible to the community. Public parks and recreational areas often include amenities such as playgrounds, walking paths, picnic areas, and other sports fields, making them ideal for accommodating a soccer field. This land use promotes community engagement, physical activity, and provides a multipurpose area for residents to enjoy.

3.3 The Development Concept

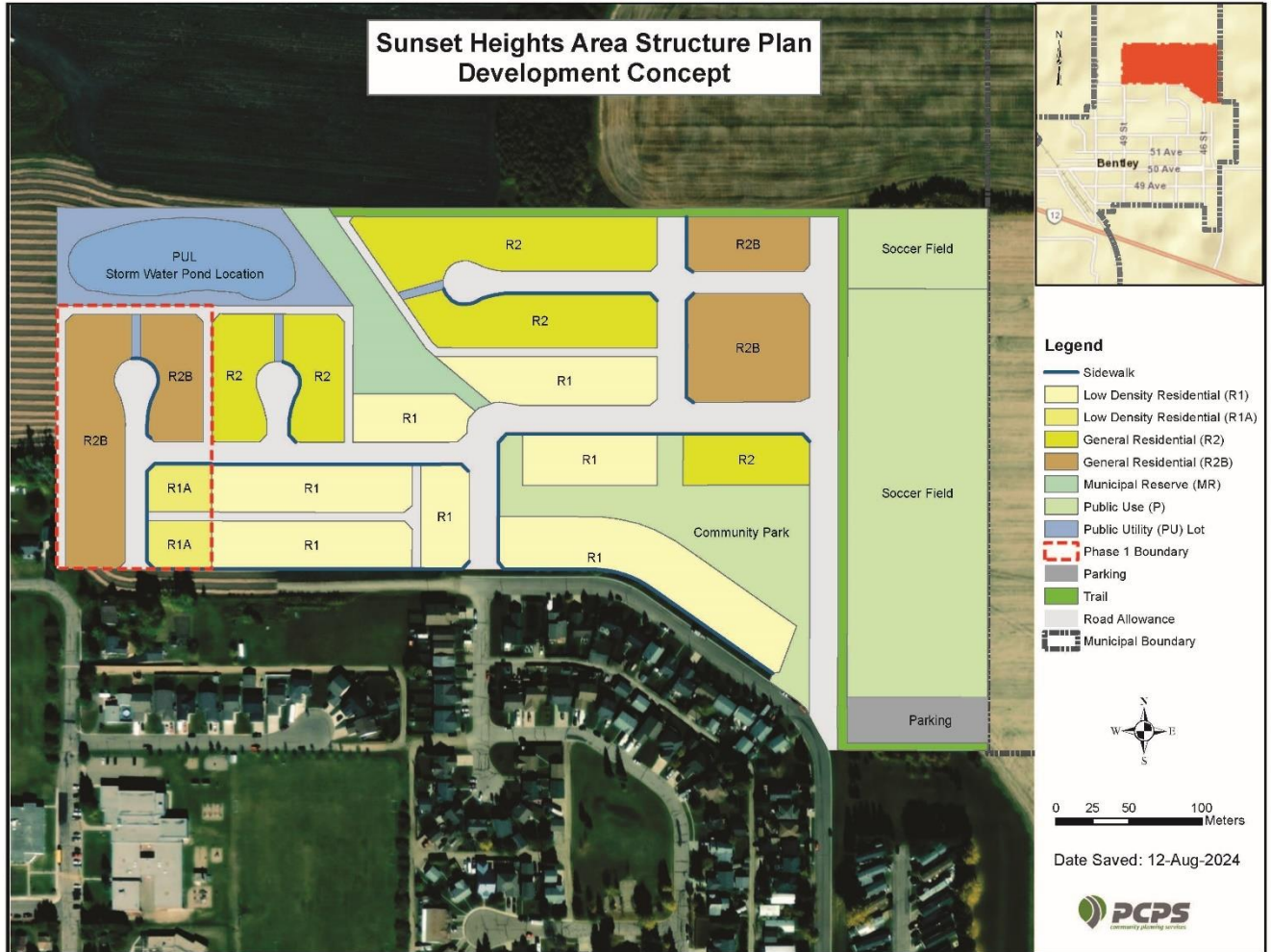
In addition to considering previous plans, policies and strategies, involving the Bentley community in the decision-making process was crucial for developing a plan that truly reflects the desires and needs of the Town. Through two community surveys conducted for both the 2024 Strategic Plan and the revision of the Summersault Area Structure Plan, residents made it clear that manufactured and mobile homes are not a priority for Bentley.

Instead, the community expressed a strong and enthusiastic desire for the addition of a new soccer field in town. This feedback has been taken into consideration, leading to the incorporation of a new soccer field in the updated Sunset Heights ASP. The proposed soccer field development is located on the plan area, creating a hub for sports and recreation in Bentley.

As a result of this community-driven decision, the previous plans for manufactured homes in the residential development concept was removed to accommodate the new soccer field.

Considering all planning policies, engineering assessments and technical studies, a Development Concept is illustrated in Figure 7 below.

Figure 7: Development Concept Plan



3.3.1 Key Criteria for Developing the Concept Plan

In developing the Concept plan several key factors have been carefully considered including:

Residential Land Use Districts in the Concept Plan

The variety of housing types provides new alternatives for both current and future residents of with diverse family structures and income levels. While the development concept outlines the

general location of various land uses, it is important to acknowledge that the specific distribution and placement of these land uses may evolve depending on market demand. Flexibility is key in the development of smaller communities given the inherent uncertainty and potential fluctuations in the housing market. The following points have been considered in designing the residential districts in the ASP development concept:

1. The Town of Bentley Municipal Development Plan (MDP - 216) requires a maximum overall density of 15 units per hectare (6 units per acre) for new developments. With a gross area of approximately 41 acres, the total number of units should not exceed 246 units to achieve the desired overall density of 15 residential units per acre.
2. The proposed development concept plan designates a soccer field, park areas, and approximately 26.7 acres of net residential land (see Table 5). While the proposed development concept suggests a range of 240 to 275 residential units, the exact density will be flexible and may vary based on the number of units in the future development proposal. However, it is crucial to ensure that the total number of residential units does not exceed the permitted limit in the MDP. In case a feasible development proposal requires a higher density, the MDP and ASP shall be amended accordingly before approval.
3. The ASP development concept plan aligns with the existing land use layout to the immediate south by introducing detached single-family homes along 55 Avenue, opposite the already established developments. The remainder of the site will feature a blend of detached single-family dwellings, duplexes, row houses, multi-unit housing developments, and a soccer field.
4. The design of residential streets will incorporate a combination of laned and laneless zones. Detached single-family homes have been positioned along 55 Avenue, directly across from the existing single-family residences. This layout aims to create a smooth transition between the established community and the proposed higher-density development on the site.
5. Taking into account the lifestyle preferences and typical age demographics of the residents in the area, multi-residential units and apartments have been strategically situated in close proximity to the soccer field. A designated buffer zone has been established between the residential and soccer field areas to ensure that residents can enjoy a peaceful living environment while still having convenient access to recreational amenities.
6. There are two sites within the plan area identified for multiples family housing. It is planned for between two or three individual multi-unit buildings with approximately 8-12 units. Depending on market demand this could shift to two 18-unit buildings or one 36 unit building on each site.
7. Compatibility and adequate parking space provisions will be determined during the development permit stage. Neither of these sites isolate individual parcels nor restrict
8. One residential site (R2), designed on a cul-de-sac, is located adjacent to the natural drainage channel and open space. The site is not located on an arterial or collector road, however based on the overall scale and intensity of development on the site, as well as the scale and intensity of development within the entire plan area, traffic volumes should not be a concern.
9. As per the development concept a neighbourhood park and open space corridor have been integrated throughout the entire development. The open space corridor also functions as a

stormwater drainage channel, culminating with a dry landscaped stormwater detention pond in the northwest corner of the proposed development.

Overall, the residential land use districts designed in the concept plan aim to provide a diverse range of housing options to accommodate various family structures and income levels within the community. While the plan offers a general framework for the distribution of land uses, it is essential to remain adaptable to changing market dynamics and demands. By adhering to the guidelines set forth in the Town of Bentley Municipal Development Plan, the goal of the development concept is to create cohesive and inclusive neighborhoods that prioritizes both functionality and quality of life for the residents. Through thoughtful planning and flexibility, the development concept seeks to foster a harmonious blend of housing options while preserving the unique character of the surrounding area.

3.3.2 Land Uses Statistics

Table 5 below presents a detailed breakdown of the land use statistics associated with the proposed development concept, with each land use category described in more detail below. The proposed soccer field, a key feature of this development, is estimated to cover approximately 3.0 acres of the site.

Table 5) Land Use Statistics		
<i>Land Use</i>	<i>Area (acres)</i>	<i>Percentage</i>
Plan Area (total)	44.05	100%
Residential Development	26.74	60.6%
Public Parks and Open Space – Municipal Reserve	6.51	14.8%
Circulation – Roads and Lanes	7.83	17.8%
Public Utility – Stormwater Pond	2.97	6.7%

This table will be updated after council approval

3.3.3 Transportation and Road Network in the Development Concept

An integrated urban transportation and road network in a community should proficiently be designed to create effective and safe movements in the area while also promoting sustainable development and enhancing the overall quality of life in the community. With this primary

principle in mind, the following key elements have been taken into consideration in the design of the road network in the Area Structure Plan (ASP) development concept:

- 1 **Connectivity:** The road network is designed to provide seamless connectivity throughout the plan area, linking residential areas and recreational facilities. A grid pattern with multiple access points has been considered to prevent traffic congestion and facilitate easy navigation.
- 2 **Access and circulation:** Adequate access points to major roads and potential future public transportation routes have been planned. Various transport modes, including sidewalks, pedestrian paths, natural trails, bike lanes, and public transport stops, have been incorporated to promote safe and efficient movement within the community.
- 3 **Sustainability:** The incorporation of active transportation practices, such as encouraging walking, cycling, and the use of future public transportation, is a priority. Additionally, the implementation of green infrastructure, such as permeable pavements and roadside vegetation, aims to manage stormwater runoff and improve air quality.
- 4 **Land use integration:** By aligning road design with land use planning, the transportation network would support the overall development goals of the ASP. This strategic coordination ensures that the road network complements the surrounding land uses effectively.
- 5 **Roads may be designed based on the City of Red Deer standards.** This standard dictates a 15 m right of way for local roads with a 10 m wide paved surface. Collector roads and roads connecting to existing 20 m right of way will be developed as a 20 m right of way.

3.3.4 Incorporating a new Soccer Field in the ASP area.

Incorporating a new soccer field in a community development plan can greatly enhance community engagement, promote physical activity, and provide a space for social interaction.

The key steps have been taken to design and integrate a new soccer field into the Sunset Heights Area Structure Plan include:

A. Assess Community Needs and Preferences

- **Community Surveys and Meetings:** A community survey has been conducted to assess community interest in a soccer field. The results helped the project team to understand the community's preferences regarding location, size, and additional facilities.
- **Stakeholder Engagement:** This practice has involved local sports clubs, and community groups in the planning process to ensure the proposed soccer field meets the needs of various users.

B. Site Selection

1. **Location Analysis:** In addition to the community and stakeholders' engagement through considering key elements of accessibility, the lands owned by the Town, safety, and proximity to other amenities, project team have identified potential sites for a soccer field development within the community.

2. **Environmental Impact:** A general environmental assessment was conducted to ensure the project would not adversely affect local ecosystems.
3. **Feasibility Study:** A technical and financial feasibility of the project will be assessed at the design stage considering land availability, soil quality, drainage requirements, and construction costs.

C. Planning and Design Criteria

- **Connectivity:** The proposed soccer field should be planned in conjunction with new residential developments in the plan area, ensuring it is connected via pathways and buffered by green spaces to create an integrated recreational and natural environment.
- **Additional Amenities:** General criteria for incorporating essential amenities such as running track, seating, lighting, restrooms, changing rooms, and parking have been considered in the planning process.
- **Field Specifications:** The size and type of the soccer field (e.g., full-size, half-size, artificial turf, natural grass) will be analysed and determined at the design stage.
- **Accessibility:** The accessibility of the field and facilities to people with disabilities shall be considered at the architectural design stage.

By following these steps and structuring the plan comprehensively, the project team has effectively integrated a soccer field into the Area Structure Plan, ensuring it meets the needs and enhances the well-being of the community of Bentley.

through a combination of trees, a dense wooden fence or some combination thereof to the satisfaction of the Development Authority.

- (4) Notwithstanding sight triangle requirements, deciduous trees should be planted along all public street frontages at the following rates:
 - a) 1 tree per detached single-family dwelling and duplex lot;
 - b) 1 tree per every two lots planned for townhouse dwellings; and
 - c) 1 tree per 15 linear metres for multi-unit sites or the side yard of a corner lot that faces a street.
- (5) Trees required under (4) should be high leafing deciduous trees when planted within the Municipal right-of-way.

4.2 Development Phasing

Given the scale of the proposed development, the current demand in the housing market, and the resources available to the Town, it is evident that the development will be executed in multiple phases.

Phase I:

The initial phase of development has commenced in the western section, at the intersection of 49th Street and 55th Avenue, which is designated as Phase I. Progression will occur towards the east in alignment with housing market demand, encompassing the extension of services and road networks. Although approximate lot dimensions have been outlined, minor adjustments may be made as building designs and footprints are finalized.

Phase II:

In response to the community's expressed interest in establishing a soccer field, it would be prudent to incorporate the proposed soccer field and related amenities within Phase II. Additionally, it is recommended to introduce the proposed neighborhood park in this phase. This park not only caters to the community but also enhances the overall environment, thus attracting new residents, developers, and investors to the Town.

Subsequent phases will be determined based on factors such as housing demands, available Town resources, and development proposals presented by developers, investors, and landowners.

4.3 Redistricting and Subdivision

Apart the land designated as Phase I, all other land within plan area is currently districted as (UR) Urban Reserve District. Redistricting and subdivision of the land is intended to conform to the following:

- **R1 District)** To provide and area for low density residential development in the form of Detached dwellings
- **R2 District:** To provide and area for low density residential development in the form of detached and Semi-detached dwellings

- **R2B (General Residential) District:** To provide an area for low density residential development in the form of detached and Semi-detached dwellings and multiple units
- **PU (Public Use) District:** stormwater detention pond, trails, parks and open spaces.

As the plan area has been allocated specific districts, it is important to note that future phases of development may necessitate the exploration of new districts based on housing demand. In collaboration with the developer and municipality, amendments to the Land Use Bylaw could be pursued to introduce these new districts to accommodate the evolving needs of the community and the project.

4.5 Adopting and Amending the Plan

Adoption and any amendment of this Area Structure Plan would be the responsibility of Council. The Summersault Residential Outline Plan provides a conceptual development framework for the subject site.

4.5.1 Municipal Development Plan

The proposed development conforms with the residential and recreational policies of the current Town's Municipal Development Plan, no policy amendments are required to approve the proposed development.

4.5.2 Land Use Bylaw

In the current Town's Land Use Map, the developed part of the ASP plan area in the west has been designated as R1 and R2B. Following the adoption of the ASP, the land use bylaw must be amended to reflect the proposed land use designations. As part of an Area Structure Plan and future phases of the development, the Town and developers may explore the creation of new zones aimed at allowing narrower lots.

4.5.3 Summersault Area Structure Plan

With the approval of this Area Structure Plan the Council will repeal the Summersault Area Structure Plan.

4.5.4 Financial Support and Investment Attraction

The subject property is specifically identified in this document as an "Excellent Opportunity for Land Development". Adjacent to existing residential neighbourhoods, access to municipal services, and its general proximity to Town amenities, the subject site is identified as ideal for residential development investment.

- (1) With the support of Bently Residents, Lacombe County and other partners, it is recommended that the Town allocates the necessary resources to ensure the soccer field is not only well established but also well maintained. This will help elevate the soccer field to become a regional recreational asset for residents to enjoy.
- (2) Based on the feedback gathered from the community survey, it is evident that there is a strong interest in building a soccer field and its related facilities in the town. Therefore, it is crucial

that the town takes into consideration the community expectations when designing and constructing the soccer field. (For detailed survey results, please refer to attachment G).

- (3) Building of recreation amenities is a priority for the community, however this needs to be balanced with affordability and costs and the ability to maintain. As per the survey there was support for fundraising efforts to support such amenities as well. Amenities which are built not only support the Town, but families in the County as well. They should be built through joint efforts and funding or in-kind support.
- (4) It is recommended that the Town of Bentley utilize the generous donation received and leverage this to access funding support from the county and possibly any other grants available. Soccer and other forms of recreation are important attractors to a community.

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SCHEDULES

A. Community Survey Results

B. Sunset Heights ASP – Development Concept

C. Road Network

D. Active Transportation Network

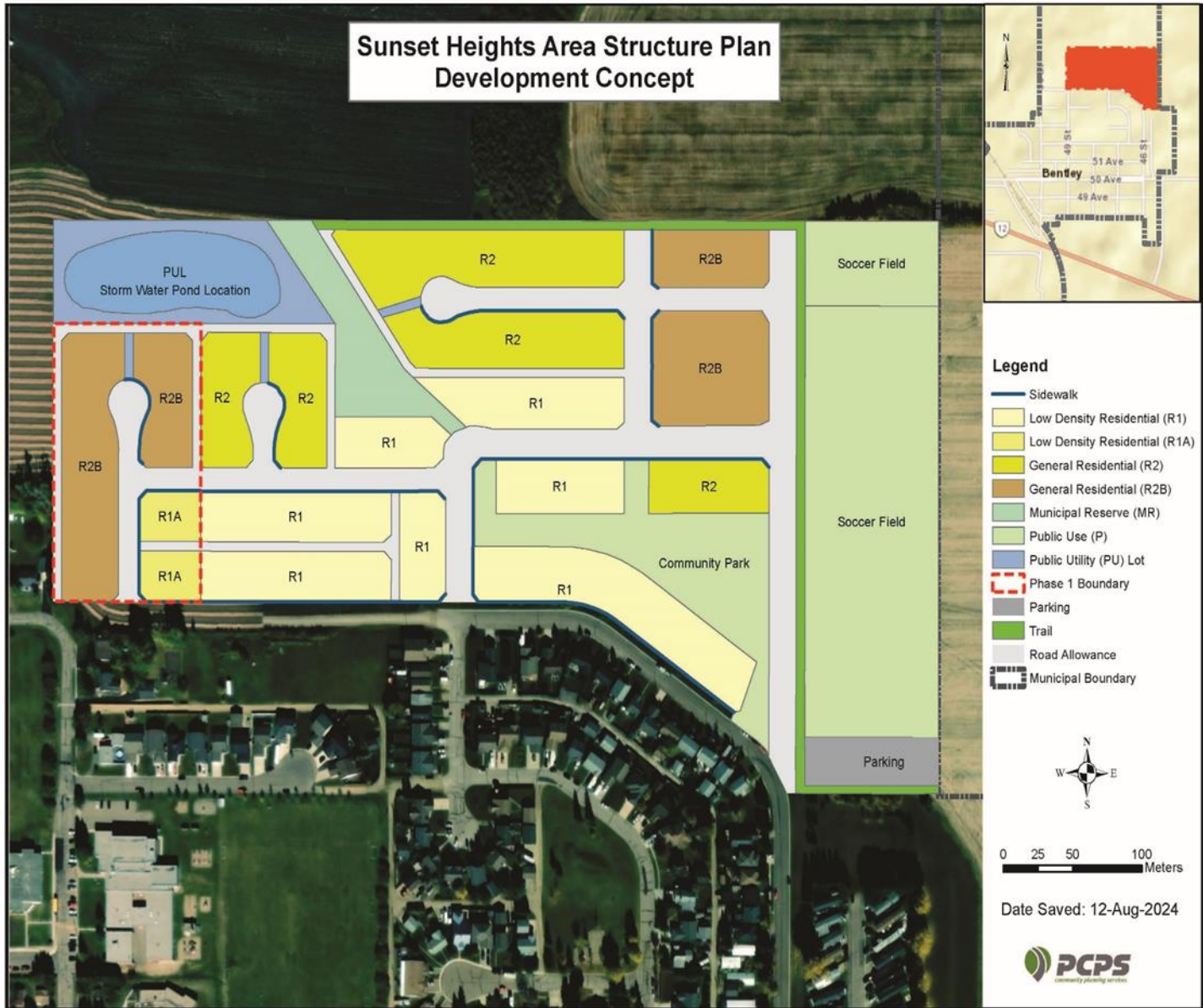
E. Water Distribution System

F. Sanitary sewer System

G. Site Grading and Stormwater System

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Schedule A: Sunset Heights Area Structure Plan – Development Concept



Schedule G: Community Survey Results

Survey Overview

- Total Respondents: 191
 - Most respondents are middle-aged and long-term residents, which may influence their preferences for stability and community-oriented developments.
 - Key Sections: Housing Development, Community Soccer Field Proposal
-

Q1: What type of housing would you like to see developed in the Summersault area?

Housing Type	Score
Single-family Homes	4.55
Townhouses	3.67
Senior Living	3.02
Apartments	2.47
Mobile Homes	1.29

Analysis:

- Single-family Homes are the most preferred type of housing, with the highest score of 4.55 out of 5.
- Townhouses are the second most preferred, with a score of 3.67.
- Senior Living has moderate preference with a score of 3.02.
- Apartments and Mobile Homes are less preferred, scoring 2.47 and 1.29 respectively.

Q2: What are your biggest concerns regarding housing development in the Summersault area?

Concern	Score
Affordability	4.32
Traffic & Infrastructure	3.88

Concern	Score
Density	3.74
Impacts on Community Character	3.22

Analysis:

- Affordability is the biggest concern, with a score of 4.32 out of 5.
- Traffic & Infrastructure is also a significant concern, scoring 3.88.
- Density has a notable level of concern with a score of 3.74.
- Impacts on Community Character is the least concerning, with a score of 3.22.

Q3: Additional comments or suggestions about housing development:

Key Themes:

- Adequate parking and green spaces
- Variety of recreational facilities
- Concerns about low-cost housing affecting property values
- Requests for rental houses and single-family homes
- Maintaining community aesthetics and avoiding low-quality developments

Q4: What do you think are the benefits of building a new soccer field in the Summersault area?

Benefit	Score
Better Opportunities for Youth Sports	4.72
Increased Community Engagement	4.50
Improved Health and Wellness	4.33
Potential Revenue from Events	3.98

Analysis:

- Better Opportunities for Youth Sports is seen as the greatest benefit, with a score of 4.72 out of 5.
- Increased Community Engagement is also highly valued, with a score of 4.50.
- Improved Health and Wellness has a strong positive perception, scoring 4.33.
- Potential Revenue from Events is viewed positively but to a slightly lesser extent, with a score of 3.98.

Q5: What concerns do you have about building a soccer field?

Concern	Score
Cost	4.22
Traffic	3.85
Environmental Impact	3.54
Noise	3.12

Analysis:

- Cost is the primary concern, with a score of 4.22 out of 5.
- Traffic is also a significant concern, scoring 3.85.
- Environmental Impact is a moderate concern, with a score of 3.54.
- Noise is the least concern, with a score of 3.12.

Q6: Where do you think the new soccer field should be located?

Location	Score
North of the Community (Town's land)	4.85

Analysis:

- The overwhelming preference is for the soccer field to be located North of the community (Town of Bentley land), with a score of 4.85 out of 5.

Q7: What size should the soccer field be?

Size	Score
Full-size (100-130 yards long)	4.61
Medium-size	4.08
Small size	3.47

Analysis:

- Full-size (100-130 yards long) is the most preferred, with a score of 4.61 out of 5.
- Medium-size is also favored, with a score of 4.08.
- Small size is the least preferred, with a score of 3.47.

Q 8) Expected Usage Frequency:

- Several Times a Week: Expected by 42.41%.
- Daily Usage: Anticipated by 35.60%.
- Weekly and Occasional Usage: Less expected.

The majority of respondents (42.41%) expect to use the soccer field several times a week, followed closely by those anticipating daily usage (35.60%). This indicates a high level of interest and expected usage of the soccer field by the community.

Q 9) Additional Facilities Desired:

Respondents highly desire essential facilities such as restrooms (89%), seating/bleachers (65%), and a running track (62%). Suggestions for other facilities such as lighting, picnic shelters, and equipment storage show a desire for a well-equipped and comfortable soccer field.

Q10) Accessibility for people with disability

Answer Choices	Responses
Very Important	49%
Somewhat important	44%
Not important	8%

Nearly half of respondents (49%) consider it very important and 44% of respondents believe that it is somewhat important that the soccer field and its facilities are accessible to people with disabilities, highlighting the community's commitment to inclusivity and accessibility.

Q11) Supporting hosting community events and soccer tournaments

Answer Choices	Responses
Yes	87.4%
No	3.2%
Maybe	9.5%

The majority of respondents (87.4%) are in favor of supporting community events and soccer tournaments, indicating a willingness to make the soccer field a central hub for community gatherings and activities.

Q12) Potential environmental impact of the development

Importance	Responses
------------	-----------

Very concerned	25%
Somewhat concerned	50%
Not very concerned	20%
Not at all concerned	5%

A majority of respondents express some level of concern about environmental impacts, indicating the need for careful environmental planning and communication.

Q13) Supporting community fundraising efforts to help costs of the soccer field

Answer Choices	Responses
Yes	71.6%
No	7.9%
Maybe	21%
Other	5%

A majority of respondents (71.6%) are willing to support community fundraising efforts to help cover the costs of the soccer field, demonstrating a strong sense of community collaboration and investment in the project.

Q14) Your age group

1. **Under 18:** 1.58%
2. **19-29:** 2.63%
3. **30-44:** 52.11%
4. **45-60:** 32.63%
5. **61 or older:** 11.05%

The majority of respondents (85%) are in the 30-44 and 45-60 age groups, suggesting the survey results are heavily influenced by middle-aged residents.

Q15) How long have you lived in Bentley?

1. **Less than a year:** 1.57%
2. **1-5 years:** 12.04%
3. **6-10 years:** 18.32%
4. **11-20 years:** 28.27%
5. **More than 20 years:** 24.61%

6. **Don't live in Bentley:** 19.37%

Most respondents (53%) have lived in Bentley for more than 10 years, indicating a well-established community with a long-term resident base.

Q 16) Additional comments or suggestions

1. Outline long-term costs clearly
2. Consider building a splash park for younger kids
3. Need for a pool, gym, and play space for kids
4. Attend busy soccer nights to understand community needs

Further, respondents provided constructive feedback, emphasizing transparency in costs and suggesting additional recreational facilities.

Conclusion

The community survey indicates overwhelming support for developing a new soccer field in the proposed area, emphasizing youth sports and community engagement. There is a strong preference for single-family homes and a cautious approach towards affordability and maintaining community character. Cost and traffic remain significant concerns, but there is a clear consensus on the proposed location and the need for additional amenities including seating stages, running track and rest rooms to support the soccer field's usage.

Sunset Heights Area Structure Plan Development Concept



- Legend**
- Sidewalk
 - Low Density Residential (R1)
 - Low Density Residential (R1A)
 - General Residential (R2)
 - General Residential (R2B)
 - Municipal Reserve (MR)
 - Public Use (P)
 - Public Utility (PU) Lot
 - Phase 1 Boundary
 - Parking
 - Trail
 - Road Allowance
 - Municipal Boundary

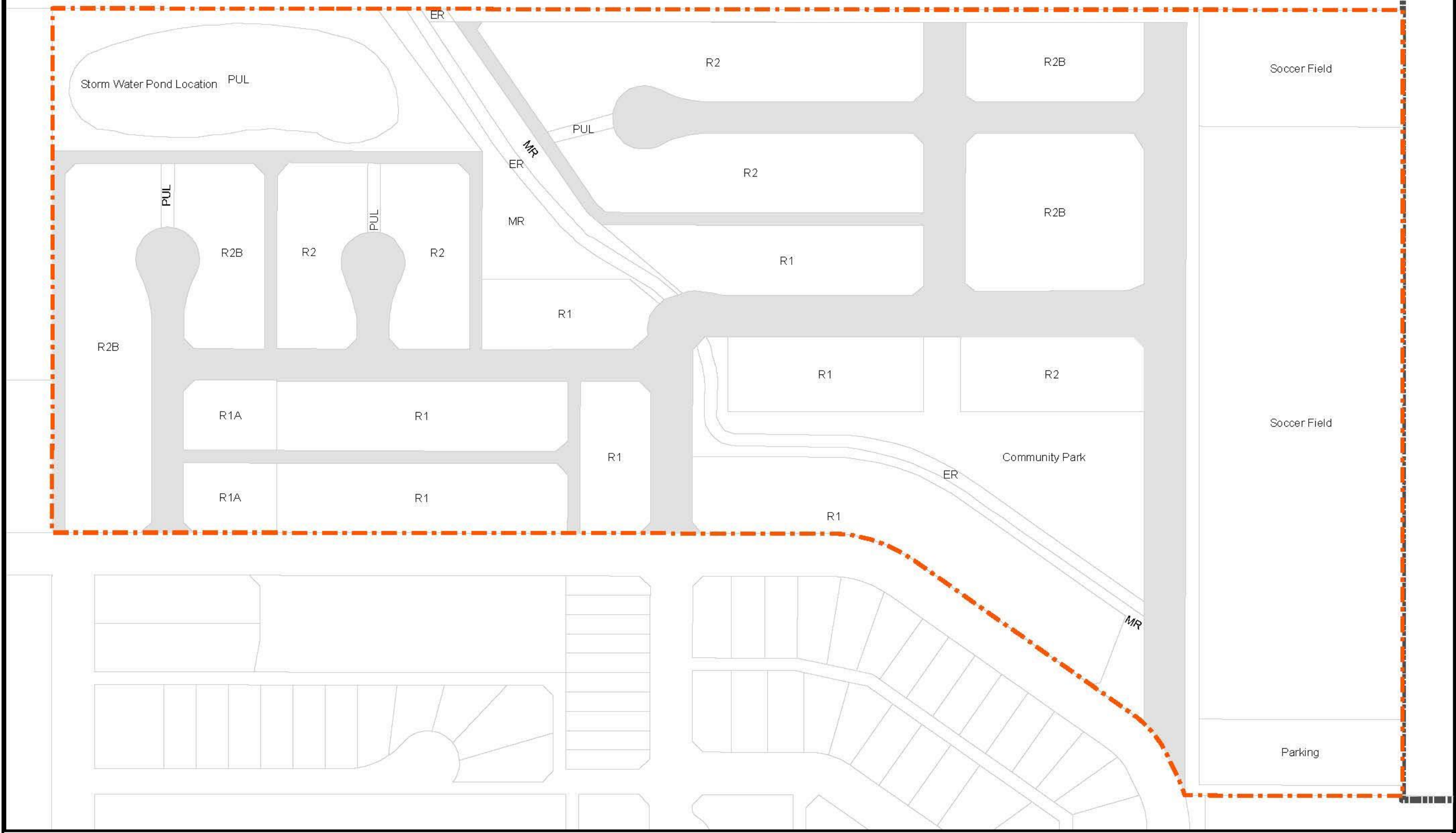


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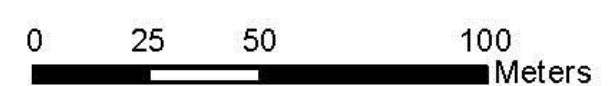
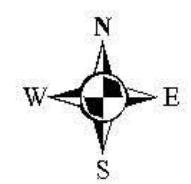


Sunset Heights Road Plan



Legend

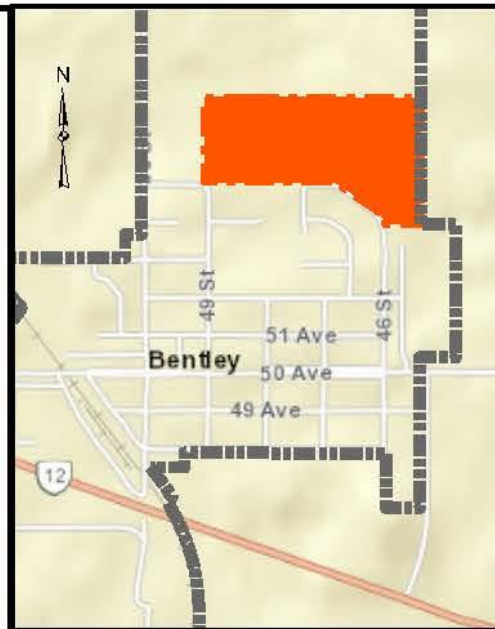
-  Parcels
-  Road Allowance
-  ASP Boundary
-  Municipal Boundary



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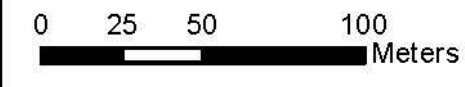
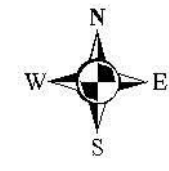


Sunset Heights Area Structure Plan Active Transportation Concept



Legend

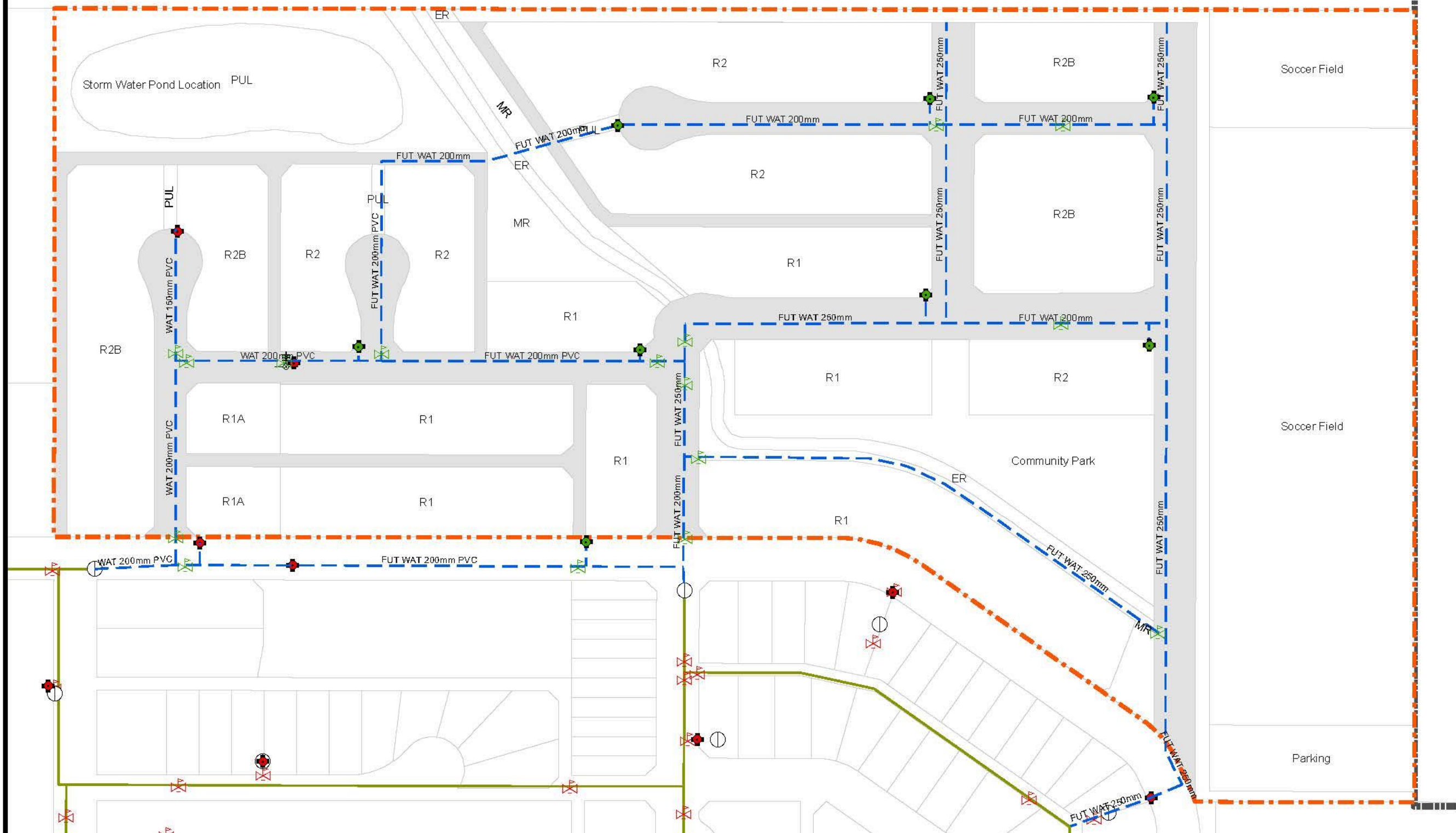
- ASP Boundary
- Sidewalk
- Community Park
- Parcels
- Trails
- Road Allowance
- Municipal Boundary



Date Saved: 23-Aug-2024



Sunset Heights ASP Water Distribution Plan



Legend

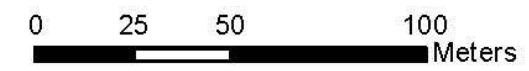
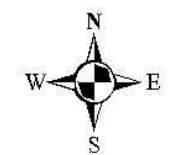
Proposed

- Hydrant
- Air Relief Valve
- Water Valve
- Watermain

Existing

- Hydrant
- Water Plug
- Water Valves
- Watermain

- ASP Boundary
- Municipal Boundary



Date Saved: 23-Aug-2024



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Sunset Heights (Summersault) Area Structure Plan



Summersault Area Structure Plan - **WSP**



Sunset Heights Area Structure Plan Development Concept



- Legend**
- Sidewalk
 - Low Density Residential (R1)
 - Low Density Residential (R1A)
 - General Residential (R2)
 - General Residential (R2B)
 - Municipal Reserve (MR)
 - Public Use (P)
 - Public Utility (PU) Lot
 - Phase 1 Boundary
 - Parking
 - Trail
 - Road Allowance
 - Municipal Boundary



Date Saved: 12-Aug-2024



Sunset Heights Area Structure Plan - **PCPS**



Sunset Heights Area Structure Plan

REVISION:

1. Remove Mobile Home Park
2. New Soccer Field(s)
3. New Road Configuration/Alignment
4. Trail Network
5. Neighbourhood Park

Sunset Heights Area Structure Plan Active Transportation Concept



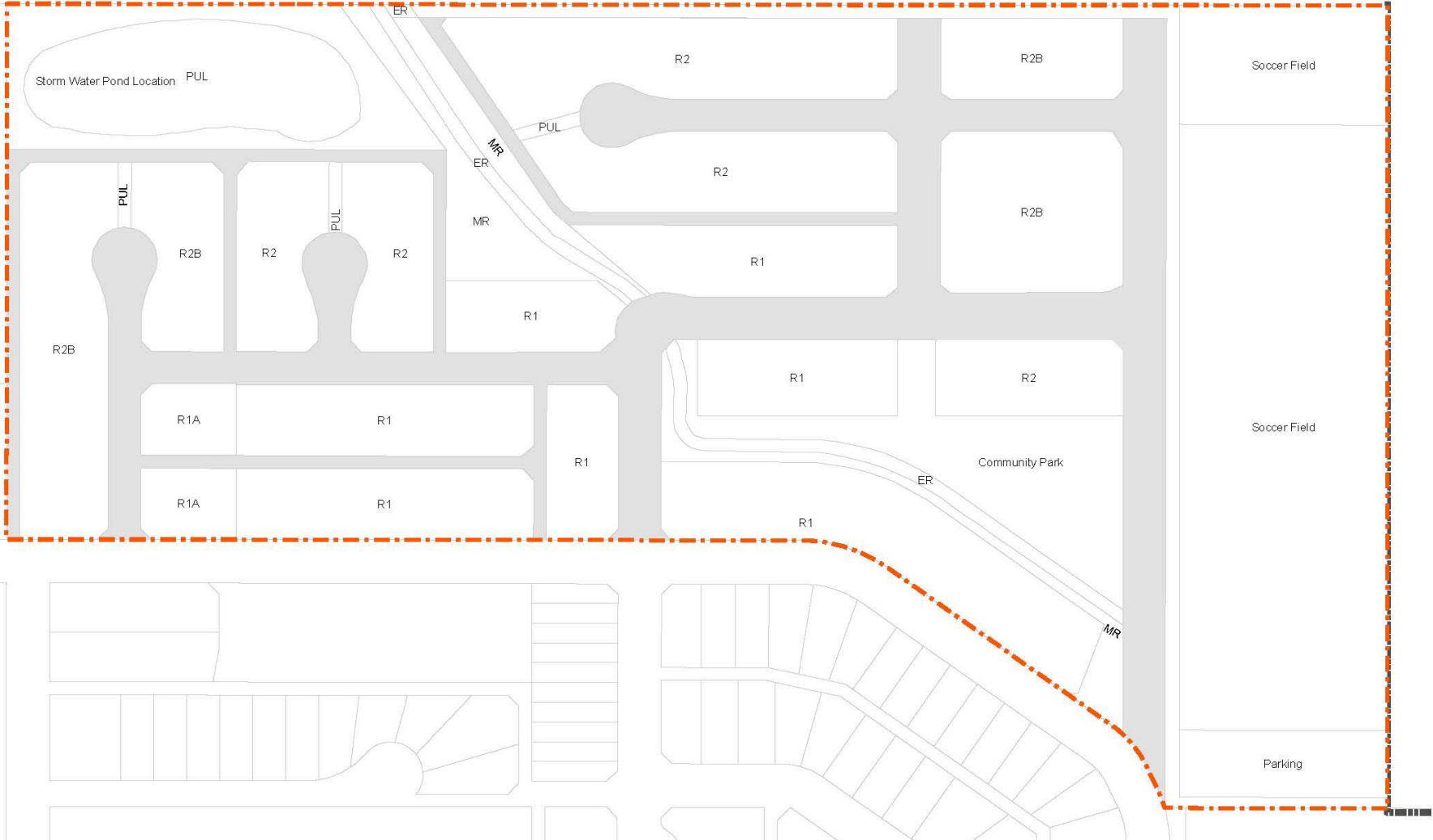
- Legend**
- ASP Boundary
 - Sidewalk
 - Community Park
 - Parcels
 - Trails
 - Road Allowance
 - Municipal Boundary



Date Saved: 23-Aug-2024

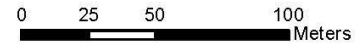


Sunset Heights Road Plan



Legend

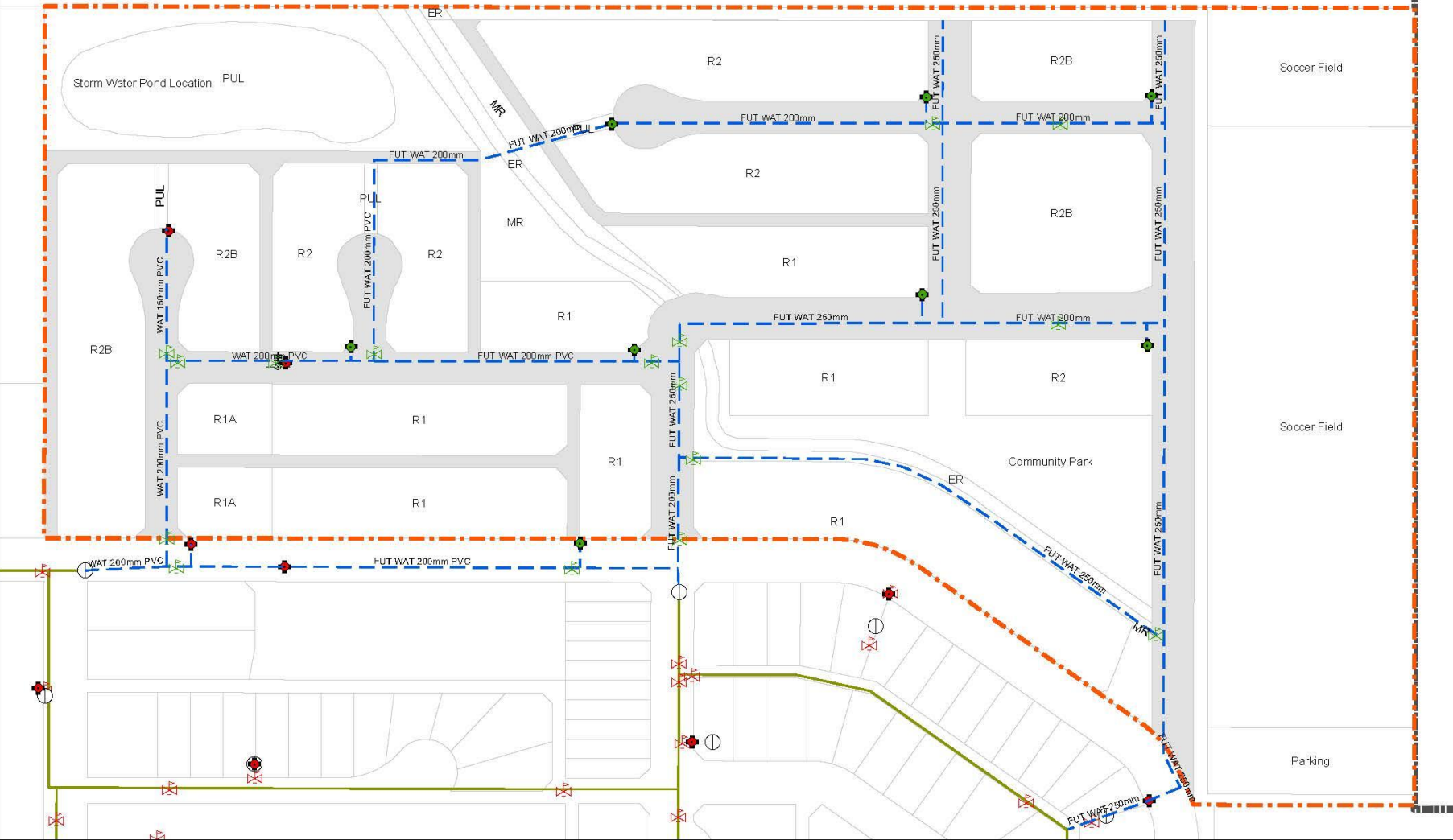
-  Parcels
-  Road Allowance
-  ASP Boundary
-  Municipal Boundary



Date Saved: 23-Aug-2024



Sunset Heights ASP Water Distribution Plan



Legend

Proposed

- Hydrant
- Air Relief Valve
- Water Valve
- Watermain

Existing

- Hydrant
- Water Plug
- Water Valves
- Watermain

- ASP Boundary
- Municipal Boundary



0 25 50 100 Meters

Date Saved: 23-Aug-2024





Agenda Date: August 27, 2024

Agenda Item: New Business:
Bentley Sports field Conceptual Design

SUMMARY AND BACKGROUND

On February 7, 2023, the Town Office received a letter from Bentley Minor Soccer Association (BMSA) requesting consideration in building a new outdoor soccer facility. The letter outlined challenges with existing space at the schools due to it being a multiuse space, maintenance costs being expensive and the fact that the organization has grown and is rapidly running out of space.

BMSA also indicated that given recent conversations regarding the development of residential lands to the North and the new Area Structure Plan to be considered for the Southeast that they felt this was an optimal time to incorporate the development of a new outdoor soccer facility with additional amenities such as a running track, green space, playground, and picnic area. MBSA also indicated they would assist by soliciting donations if a suitable location were procured.

Subsequently on April 11, 2023, BMSA came as a delegation to speak with Mayor and Council regarding this request. Council directed administration to look for suitable space on Town owned land to potentially accommodate a playing field and bring back a report to council with findings.

On May 9, 2023, report was prepared for Mayor and Council that considered the request in relation to the Town of Bentley Parks and Open Space Plan 2008, Summersault Area Structure Plan 2014, Town of Bentley/Lacombe County Intermunicipal Development Plan, and the desires of the user group. Several locations were considered, including:

46a Street Park	Too small a space
Stormwater Pond	Sometimes fields are built on top of ponds, however, would be too costly to level the space.
ASP Amendment	Engage the public regarding the Summersault ASP
Bentley Southeast ASP	Incorporate additional green space in the new ASP.
Firehall Existing Property	Too small a space
Lacombe County Existing Fields	Rainy Creek Road – Distance too far as per minor soccer

As a result of this council meeting, administration was directed to continue to work with Bentley Minor Soccer to continue the conversation regarding the development of a future soccer field.

Further the Town of Bentley Lacombe County Intermunicipal Development Committee discussed the matter regarding the incorporation of additional space with the new Bentley Southeast ASP and an additional green space area was added to the plan for consideration of additional recreation space. This was done, not just based on the request from Bentley Minor Soccer, but also due to concerns raised regarding viewscape impacts from a county resident. In addition, given the expansion happening at Sandy Point, the area will provide future recreation space to meet the needs of growing population.

The Town and Bentley Minor Soccer continued to have conversations regarding the Bentley Southeast ASP as a viable option for a future field. In addition, on November 23, 2023, Lacombe County passed bylaw 1397/23 Southeast Bentley Area Structure Plan. The plan included an area in the Northeast corner of approximately 10 acres for dedication of a community park. This set the tone for further conversations with the landowner regarding the potential for a soccer field.

At the end of 2023, the Town of Bentley received a generation donation from Rita Mueller in the amount of \$250,000. Subsequently Mayor and Council made a motion on January 9, 2024, to establish a restricted reserve. This reserve can only be used to support Bentley Minor Soccer through initiatives to improve the league and its presence in Bentley, such as field upgrades, or the construction of a new field.”

Since there was now dedicated funds to be used for a field, conversations began with the landowner of lands within the Bentley Southeast ASP to see if there was interest in selling the land or possibly donating the land for a field. It became clear that the landowner wished to focus on the Bentley Southeast ASP and did not want to have conversations at that time regarding a potential field.

While conversations were happening regarding the Bentley Southeast ASP, additional conversations were underway with Mayor and Council through the 2024 budget process to look at land owned by the Town of Bentley in the Summersault Area Structure Plan. As a result, a goal was created through the budget process as follows:

1.) Effective Communication and Engagement

- Bentley Minor Soccer
 - Continue to work with minor soccer to find solutions for additional field space.
 - Will include a full review of the Summersault Area Structure Plan (Completed by Q3)
 - Follow up on potential donation by end of 2023.
 - Continue to explore the potential for additional recreation space in the Bentley Southeast ASP

To move this goal forward, administration developed an engagement strategy with the assistance of our consultant PCPS to undertake two surveys, one related to the strategic plan (closed April 26, 2024) and one related specifically for the Summersault ASP (closed June 24, 2024). A public meeting was also held for the strategic plan on June 19, 2024, with display boards to further engage the community regarding long term strategic direction for the community. Both provided valuable information from residents and indicated clear support for the construction of additional recreation space.

CURRENT STATUS

The Summersault ASP has been revised and is in draft form. It is also being presented for the first time, under a separate topic at this council meeting. The ASP incorporates space set aside for the consideration of a recreational field space, which also incorporates a running track. Input has been gathered from Bentley Minor Soccer regarding field size and dimensions to support the long-term vision of their organization. In addition, administration has also engaged Bentley School for input regarding the incorporation of a running track. The concept plan has been prepared with the feedback obtained and presented in **(Attachment #1)**. The intent of this report is to seek feedback from Mayor and Council, prior to finalizing design and incurring additional costs to move forward.

It should be noted that this is a large field complex that will serve Bentley for many years to come. Town administration has been having preliminary discussions with Lacombe County regarding the potential for in-kind support for earthworks for the field. As such, no cost estimates have been prepared at this time. First, we need to finalize the concept plan, then we can survey the area and calculate elevations, material quantities and costs and prepare a formalized budget.

The preliminary concept is being presented here for Mayor and Council to provide additional feedback and input. It should be noted that the design has been created to maximize field size, create parking that serves both field areas, has phase able amenities that can be built over time as funds become available, such as:

- Bleachers
- Washrooms
- Paved parking and paved roadways
- Fencing
- Trees

Initially when the field is built some of these amenities may not be in the first phase. Roads and parking can be gravel, porta-potties can be used until funds are available to construct washrooms or fundraising takes place.

BUDGET AND FINANCIAL

- **If Mayor and Council supports the concept plan, then Town administration will undertake work to calculate all quantities and determine annual operational costs for the field complex.**
- **It is the intent of administration to also submit an RC1 grant application to Lacombe County to seek in-kind support for construction of the field.**
- **\$5,000 spent to date on conceptual design work.**

RECOMMENDATION

THAT Mayor and Council approve the concept plan; AND

THAT Administration be directed to undertake a survey of the site to identify elevations, quantities of earth to be moved, material quantities for fill and finishing and prepare a formal budget estimate based on potential in-kind support from Lacombe County; AND

THAT Administration submit an RC1 application to Lacombe County for in-kind support; AND

THAT no additional funds from town taxpayers be allocated to the project for capital construction other than the value of the land, survey cost and design cost, without further council approval.

ATTACHMENTS

- 1) Bentley Sports field Conceptual Design

Marc Fortais, CAO



The opportunity to develop this parcel of land has been a collaboration between local users, the Town and other interested parties. Once completed, it will serve as a key feature within the Bentley community, addressing the needs of local and regional soccer players and track and field enthusiasts. The development will help contribute to the local economy and community spirit with a new opportunity to host tournaments and draw visitors to Bentley.

KEY FEATURES

large soccer field

through collaboration with local soccer users, these two fields will serve the needs of the community while providing the Town of Bentley a larger footprint than their existing U13 fields. They will also serve to draw tournaments to the municipality.

small soccer fields

given the expanse of space within the running track, we are able to accommodate additional soccer fields ranged in age use from U10-U13, enhancing the available field network within the community.

running track

this 5 lane shale running track will create a new opportunity for both track and field teams within school athletic programs and general community recreation within Bentley.

SITE CONSTRAINTS

parcel size

due to the rectangular footprint of this parcel, we were met with certain design limitation. These include primary field orientation, and size limitations.

adjacent roadway

reduced speed limits and traffic calming measures on adjacent roadways are encouraged to promote user safety. It is also encouraged to create a boulevard greenspace buffer providing separating between pedestrians and vehicular traffic.

LEGEND

- | | |
|--|--|
| <p>1. large soccer field
one 70 meter wide x 94 meter long primary field to accommodate 11 VS 11 player teams; complete with two, 47 meters wide x 70 meter long cross fields to accommodate 9 VS 9 player teams in U12 / U13.</p> <p>2. small soccer field
one 45 meter wide x 63 meter long primary field to accommodate 9 VS 9 player teams in U12 / U13; complete with two, 31 meter wide x 45 meter long cross fields to accommodate 7 VS 7 player teams in U10 / U11.</p> <p>3. parking
asphalt parking lot with angled stall parking. positioned to accommodate 44 stalls, with optional 22 stall future expansion accommodating 66 vehicles overall. two way access off road allocation with a one-way circular road access. median island proposed within center for canopy tree planting.</p> <p>4. running track
5 lane, 400 meter running track with shale surfacing. suitable for regional high school competition track meets.</p> | <p>5. track and field
open grassed area allocated to accommodate track and field events.</p> <p>6. asphalt trail
2.0 meter wide accessible asphalt trail. connection from north / south trail allocated within road right of way.</p> <p>7. washroom / amenities
prefabricated washroom building to accommodate park users. waste receptacles to be installed throughout park space within proximity to trail and seating areas.</p> <p>8. bleacher seating
tiered prefabricated bleacher seating to accommodate event viewers. installed on concrete pad for ease of maintenance.</p> <p>9. enhanced planting
canopy tree planting placed within open spaces to provide shade for event viewers.</p> |
|--|--|



BENTLEY SPORTSFIELD CONCEPTUAL DESIGN



HIGHLIGHTS OF THE REGULAR COUNCIL MEETING JULY 11, 2024

2025 OPERATIONS HEAVY EQUIPMENT CAPITAL PURCHASES

The annual fleet evaluation and capital purchase process has identified a need to replace seven pieces of County equipment.

By resolution of Council, the County Manager was authorized to tender and award for the purchase of the seven pieces of equipment at an estimated cost of \$4,215,000 and to dispose of the existing units at an estimated trade-in or private sale value of \$865,000. The difference between the purchase of the numbers and the sale of the old units, in the amount of \$3,350,000 will be funded from the Fleet and Equipment Reserve.

RESPECTFUL WORKPLACE POLICY REVISION

Council approved updates to Policy AD(24) Respectful Workplace. The Respectful Workplace policy is the directing document of Lacombe County's harassment and violence prevention plans.

DROUGHT MANAGEMENT COMMITTEE UPDATE

Council was provided with a Summer 2024 update by the Drought Management Committee which included information about the current drought situation in Alberta and implementation of the Drought Management Plan.

LACOMBE COUNTY SUCCESS GROWS HERE! FILMS

Council viewed 10 videos that have been recently created to promote Lacombe County to various audiences for multiple purposes. The videos will be used on social media platforms and can be used at different trade shows and events to showcase Lacombe County. Production of the videos was funded through the Rural Economic Development Microgrant.

2023 TAX SALE (PUBLIC AUCTION) FOLLOW-UP

On November 24, 2023, the County held its annual tax sale via public auction. This auction, held in accordance with section 418 of the Municipal Government Act, involved three property titles with outstanding (for more than two years) property taxes. The subject properties are located in Mirror and vary in location, services, and zoning. No bids were received at the auction for any of the properties.

In accordance with section 424 of the Municipal Government Act, the County has the authority to have these properties transferred into the name of the County if no one purchases the properties through the tax sale process. By resolution of Council, Lacombe County will acquire title to the following properties: Lots 14-17 Block 4, Plan 7159AI; Lots 16-18 and 20, Block 13, Plan 7159AI; Lot 13, Block 13, Plan 7159AI and offer them for sale in accordance with Municipal Government Act.

LACOMBE COUNTY/EAGLE BUILDERS PARKING LOT – OPENING

The new proposed date for the official opening of the new parking lot adjacent to the Eagle Builder's main office in the Aspelund Industrial Park is September 12, 2024 or September 26, 2024 at 1:00 p.m.

MEGLOBAL SITE TOUR

Lacombe County Council will tour the MEGlobal site on October 2, 2024.



WHERE PEOPLE ARE THE KEY

COMMUNITY AGGREGATE PAYMENT LEVY REGULATION REVIEW

The current CAP Levy Regulation expires on December 31, 2024. As such, Rural Municipalities of Alberta (RMA) is engaging with the Alberta Sand and Gravel Association (ASGA) to discuss possible changes to the CAP Levy Regulation. As part of this negotiation process, RMA is inviting member municipalities to share their experiences with the current CAP Levy Regulation and any possible regulatory changes that may be required. This input will help guide RMA's approach to the negotiation process.

A letter to Rural Municipalities of Alberta expressing Lacombe County's 1) experiences with the Community Aggregate Payment (CAP) Levy Regulation and 2) position with respect to changes to the CAP Levy Regulation, was endorsed by Council.

BYLAW NO. 1418/24 PILOT PROJECT (GOLF CARTS)

The Minister of Transportation and Economic Corridors signed a Ministerial order on June 14, 2024, creating the Pilot Project (Golf Carts) regulation under the Alberta Traffic Safety Act. As such, the Pilot Project (Golf Carts) Regulation authorizes a participating municipality to pass a bylaw permitting registered users the opportunity to operate a golf cart on public roadways lawfully.

Council moved first, second, and third readings of Bylaw No. 1418/24, a bylaw of Lacombe County authorizing the operation, regulation, and control of vehicles on highways and municipal lands in Lacombe County.

Council also moved first, second, and third readings of Bylaw No. 1419/23, a bylaw of Lacombe County authorizing the establishment of fees for various services, supplies, information, applications, and appeals provided to the public.

The County Manager was directed to develop a Golf Cart Program allowing the use of registered golf carts on designated routes within Lacombe County Residential Lake Districts.

CANADIAN ASSOCIATION OF RADON SCIENTISTS AND TECHNOLOGISTS

Pam Warketin, Executive Director, Canadian Association of Radon Scientists and Technologists (CARTS) provided Council with a presentation regarding the Take Action on Radon initiative as well as general information about recent radon test results in Lacombe County.

Next Regular Council Meeting is

August 22, 2024 – 9:00 a.m.

Next Committee of the Whole Meeting is

October 1, 2024 – 9:00 a.m.

Lacombe County Administration Building

****For more details from Lacombe County Council meetings, please refer to the meeting minutes. All meeting minutes are posted on the website (www.lacombecounty.com) after approval.**

EVERYONE IS WELCOME TO JOIN US

GOOD NEIGHBOR DAY

FREE EVENT

FREE EVENT

SEPTEMBER 25 FROM 3:30 TO 7:30 PM

COME & GO AT THE BENTLEY AG CENTRE

LAST YEARS' EVENT HAD OVER 400 PEOPLE! CAN WE BEAT THAT THIS YEAR?

HAMBURGERS/HOT DOGS & MORE
MUSIC KIDZ ZONE TOUCH A TRUCK
COMMUNITY GROUPS INFORMATION
VISIT WITH NEIGHBORS - MEET NEW ONES
LEARN ABOUT THE COMMUNITY

If you are non-profit and would like to have an information table and/or contribute in any way to this annual event, contact 403-748-2160 or community@townofbentley.ca



Businesses are welcome to contribute as well, LET'S CHAT!

The School will also be holding their open house, s families can pop by both opportunities!

ALECIA AICHELE

Performing 2 sets - starting at 5:30

www.facebook.com/AleciaAichelleMusic

TOGETHER WE ARE BETTER!

Nutrien
Ag Solutions®



This Event is in recognition of September 28th, National Good Neighbor Day

JOIN THE RECYCLING ROUNDUP!

GET READY TO RECYCLE THESE ITEMS FOR FREE:
**ELECTRONICS • PAINT • TIRES • USED OIL MATERIALS
HOUSEHOLD HAZARDOUS WASTE**

Bring your recyclables to:



Alberta
recycling
MANAGEMENT AUTHORITY

Learn more about recycling these materials at albertarecycling.ca



Greg Rathjen

Council Report July 2024

- July 9 Regular Council Meeting
- July 30 Met with MLA Nixon regarding tools for school's donation
- Every Saturday 2.5 hours meeting and welcoming visitors to Farmer's Market

**Remainder of July and August was Summer Recess until
Council Meeting on August 27, 2024**



Pam Hansen

REPORT FOR July 2024

- July 9 Regular Council Meeting

Remainder of July and August was Summer Recess until Council Meeting on August 27, 2024



Dale Grimsdale

REPORT FOR July 2024

- July 9 Regular Council Meeting

Remainder of July and August was Summer Recess until Council Meeting on August 27, 2024



Lenore Eastman

REPORT July 2024

- July 9 Regular Council Meeting

Remainder of July and August was Summer Recess until Council Meeting on August 27, 2024



Brenda Valiquette

REPORT FOR July 2024

- July 9 Regular Council Meeting

Remainder of July and August was Summer Recess until Council Meeting on August 27, 2024